

# Springville Specific Plan

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# Springville Specific Plan

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# INTRODUCTION





# INTRODUCTION

## 1.1 PURPOSE OF THE SPECIFIC PLAN

The **Springville Specific Plan** (Specific Plan) provides the City of Camarillo (the City) with a comprehensive planning program to direct the orderly development of the Springville site. The Specific Plan provides a conceptual land use plan, regulations, guidelines and programs to ensure that this area of the City is developed in a manner consistent with the goals, objectives, principles and policies of the **City of Camarillo General Plan** (referred to in this document as the General Plan).

The Specific Plan allows development of a variety of uses, including residential, mixed use, and recreational, within the approximately 173.5-acre Specific Plan Area. The regulations and guidelines contained in this Specific Plan will ensure that these uses, and the associated infrastructure elements and public spaces, are planned and designed in an integrated manner.

This Specific Plan has been prepared in accordance with the requirements of the **California Government Code** (Sections 65450 through 65457) and addresses all issues and topics specified in the code. A key function of the Specific Plan is to reduce the need for subsequent master planning and environmental review procedures as the project area is developed. The Specific Plan fixes the general layout and configuration of streets, and defines the land uses allowed in the Specific Plan Area. At the time of subdivision of land, subdivision maps will precisely fix the boundary of the land uses, the location of streets, and the configuration of residential lots.

## 1.2 COMMUNITY SETTING

### 1.2.1 LOCATION AND PHYSICAL SETTING

As illustrated in Figure 1-1, the project site is located north of the Ventura Freeway in the western portion of the City of Camarillo, in the County of Ventura (the County). The Ventura Freeway divides the City along an east/west alignment. The City is surrounded by pockets of unincorporated County land, beyond which lie the city of Thousand Oaks to the east, the city of Ventura to the west, and the city of Oxnard to the southwest.

A variety of land uses, such as agricultural, commercial, office, industrial, and residential, exist in the City of Camarillo. Agricultural uses are typically found in the southern portion of the City and consist of row crops including a variety of vegetables and orchards. Commercial and office uses generally occur along major arterials, such as Ventura Boulevard, Carmen Drive, and Arneill Road. Industrial uses are generally located along the railroad right-of-way in the central and eastern portions of the City and consist of manufacturing, research and development, and agricultural industry. Residential uses are located throughout the City, but most units by percentage occur north of the Ventura Freeway.

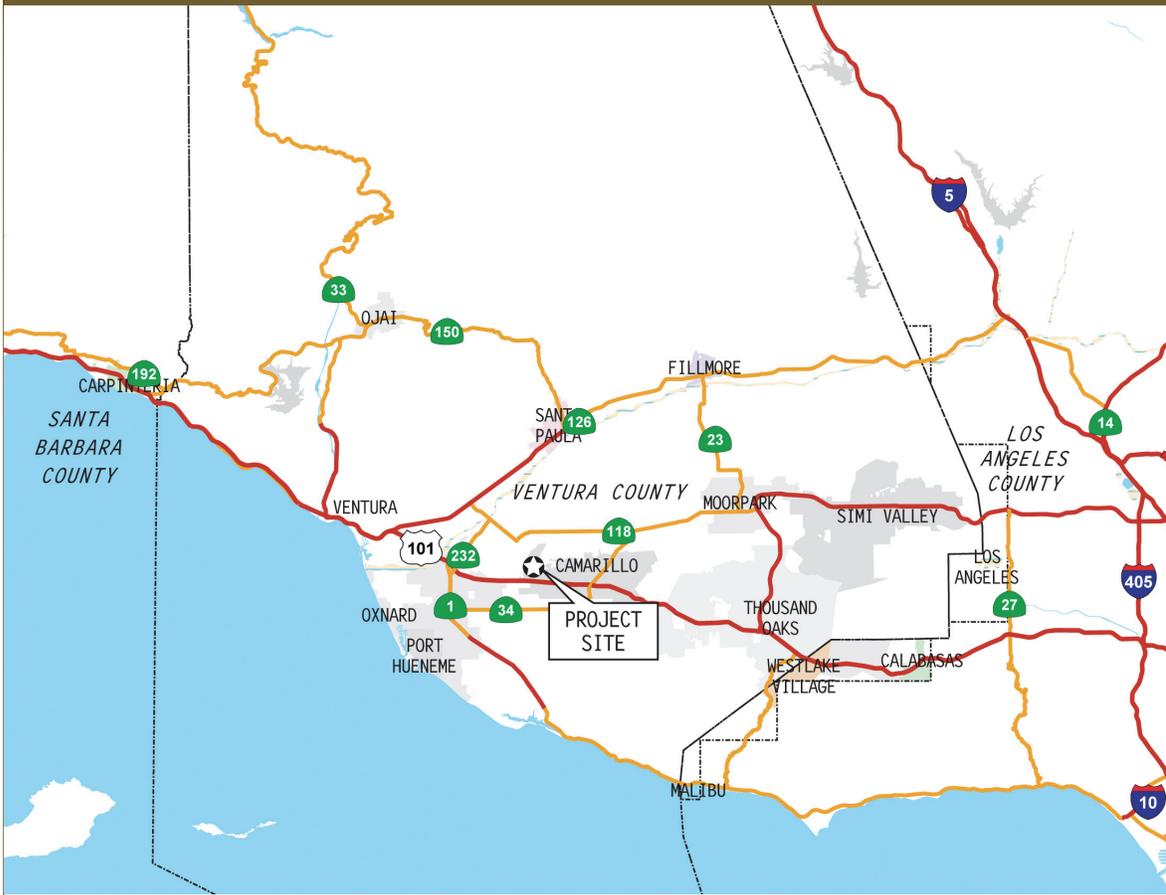
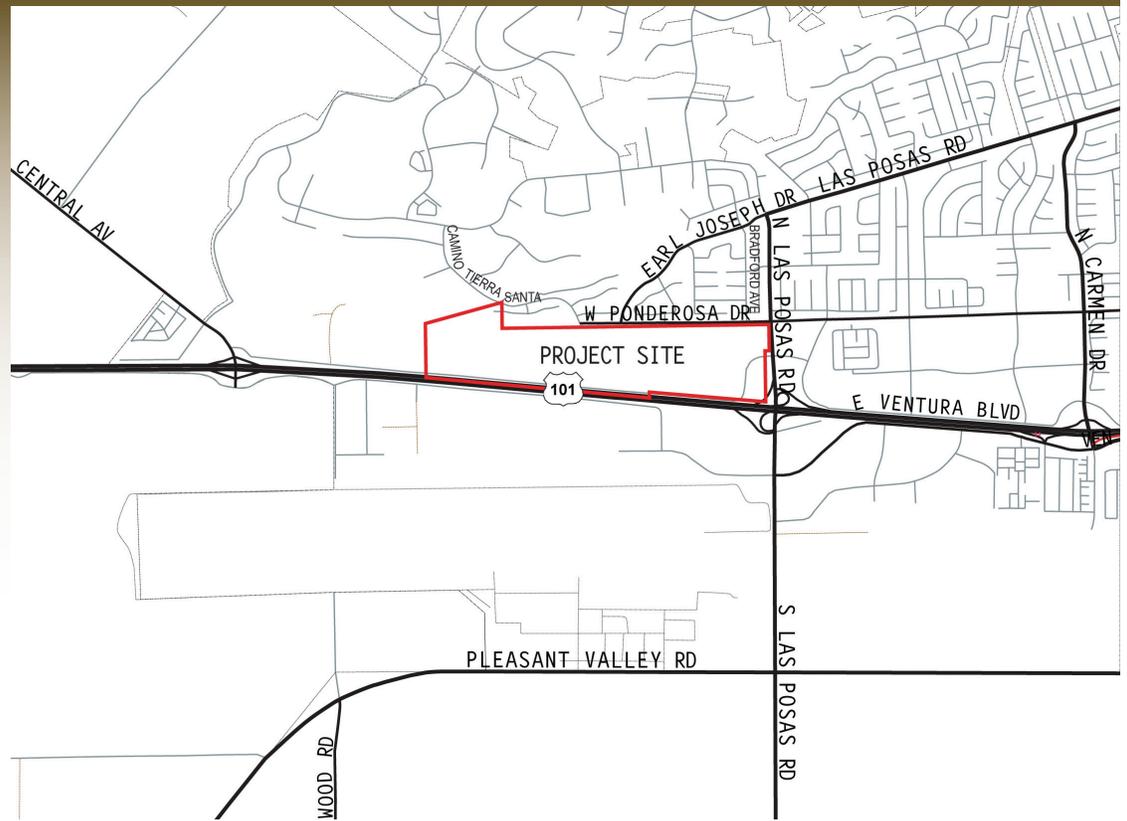


FIGURE 1-1 REGIONAL LOCATION

| SOURCE | Thomas Guide 2006.



FIGURE 1-2  
PROJECT SITE LOCATION



| SOURCE | Thomas Guide 2006.

Vehicular access to the City of Camarillo is obtained primarily from the Ventura Freeway (U.S. Highway 101, located directly south of the project site), State Highway 118 (located approximately 5 miles north of the site), and State Highway 34 (located approximately 2 miles south of the site). The Springville Drive Interchange is planned for construction on a 20-acre right-of-way, adjacent to the Specific Plan Area. The Springville Drive Interchange will provide access from the Ventura Freeway, directly to the project area. Access to Ponderosa Drive from the freeway Springville Drive Interchange is located along the west side of the mixed-use development area as illustrated in Figure 2-1 and Figure 2-2. This freeway Springville Drive Interchange allows the opportunity for the Springville Specific Plan Development to act as a gateway to the City of Camarillo’s residential areas to the north.

Local vehicular access to the project vicinity is provided by West Ponderosa Drive, a two-lane secondary arterial street, and Earl Joseph Drive, also a secondary arterial. Earl Joseph Drive intersects West Ponderosa Drive and connects to Las Posas, a secondary arterial, located north of the site. East of the site, Las Posas Road provides a connection with West Ponderosa Drive and Earl Joseph Drive to the Ventura Highway. North of the site, Camino Tierra Santa and Bradford Avenue are local streets that also intersect into West Ponderosa Drive.

The project site is located north of the Ventura Freeway on the south side of West Ponderosa Drive, as illustrated in Figure 1-2. Land uses in the immediate vicinity of the proposed project site are identified in Figure 1-3. As shown, the proposed project site is bordered on the south by the Ventura Freeway with a planned freeway Springville Drive Interchange; on the north by West Ponderosa Drive; on the east by a high-density apartment building, commercial establishments, and West Daily Drive, a collector; and on the west by agriculture. Earl Joseph Drive intersects West Ponderosa Drive, which runs along the northern boundary of the site. Figure 1-3 identifies the following land uses: a mixture of single-family and multi-family residential units located north of the site (designated as Low Density and Low Medium Density) and agricultural uses (designated as agriculture) located further to the west. An apartment building and several commercial uses (including a tire sales/repair, fast-food restaurant, and hotel) are located to the east of the project site and are designated as High Density Residential and General Commercial. The project site is within the boundaries of the City of Camarillo and also within the area subject to CURB/SOAR (Camarillo Urban Restriction Boundary/Save Our Agricultural Resources) voter approval.

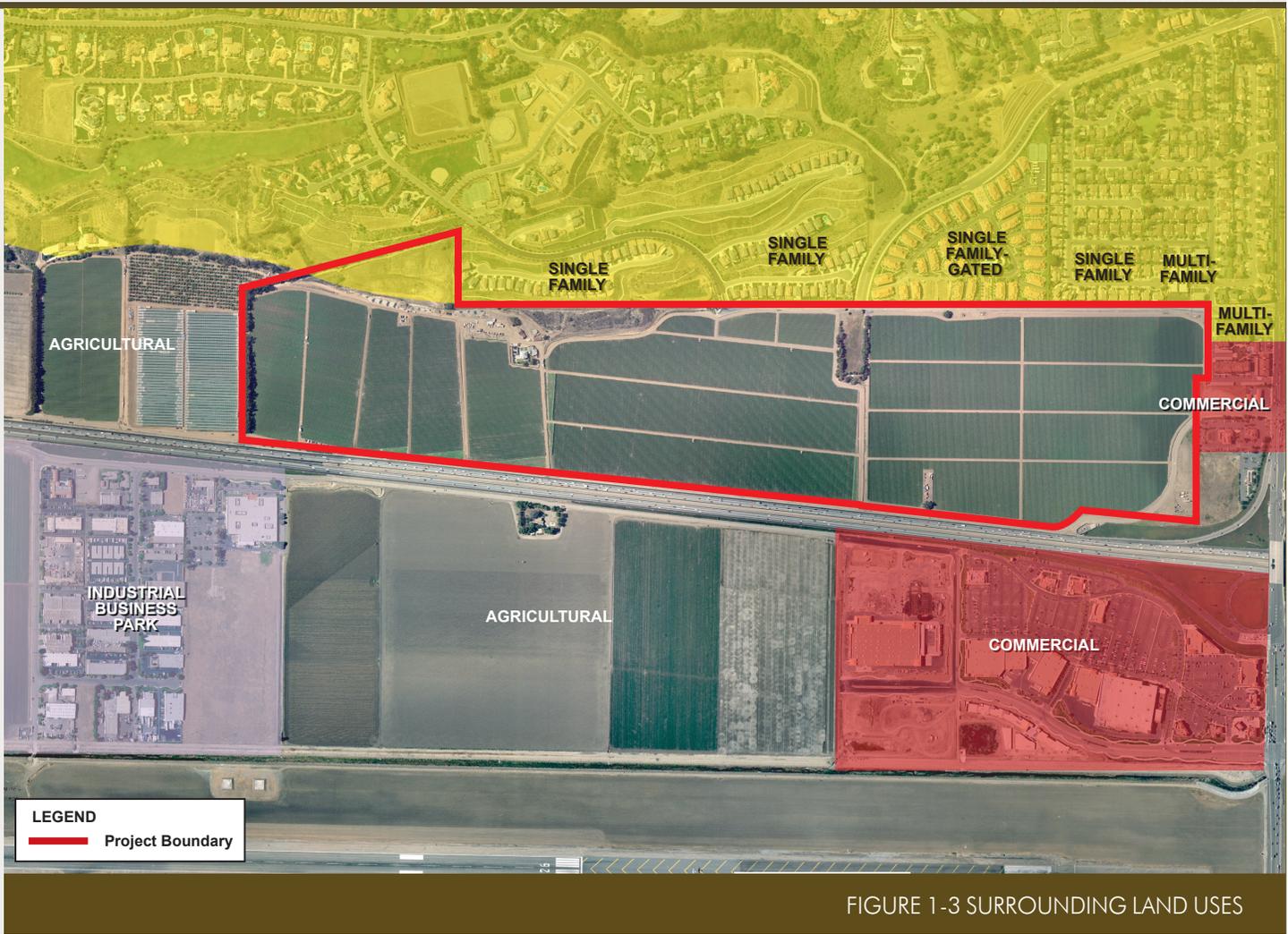


FIGURE 1-3 SURROUNDING LAND USES

| SOURCES | Google Earth, 2007; EIP Associates, a Division of PBS&J, 2007.

1.2.2 EXISTING LAND USES AND ON-SITE CHARACTERISTICS

The project site encompasses four contiguous properties totaling approximately 173.5 acres, as illustrated in Figure 1-4. Elevations across the project site range from a high of about 220 feet above mean seal level (+220 feet msl) at the northwest corner of the site to a low of about +95 feet msl in the southeast corner. Except for the hillside topography in the northwest corner of the site, the project slopes gently to the southwest and generally is at the same level as the surrounding road surfaces. The site is highly visible from the Ventura Freeway, West Ponderosa Drive, Earl Joseph Drive, and the adjacent hillsides.

The project site has historically been cultivated with spinach, lettuce, strawberries, and broccoli by various tenants. Over the years, there have been fluctuations in the types, amounts, and net revenue of the crops cultivated at the site; although the primary crop cultivated in recent years has been strawberries.

The majority of the project site is designated as Prime Farmland and as Farmland of Statewide Importance. Development on the site is limited to one farmhouse with associated outbuildings, a retention basin, and agriculture. There are two General Plan land use designations for the site: the majority of the site is designated Agriculture, and an eastern portion of the site is designated Urban Reserve. The City’s **Zoning Code** designation for the site is RE-40AC, Rural Exclusive.



FIGURE 1-4 EXISTING PROJECT SITE PARCELS

| SOURCES | Google Earth, 2007; EIP Associates, a Division of PBS&J, 2007.

### 1.3 OBJECTIVES OF THE SPECIFIC PLAN

The objectives of this Specific Plan respond to the existing physical setting of the Specific Plan Area as well as to the surrounding areas and to the **City of Camarillo General Plan**. The objectives for the Specific Plan are as follows:

- To plan for the conversion of the area consistent with the Urban Reserve designation for a portion of the site
  - To promote and accommodate the Scenic Highways development standards and criteria
  - To create a pedestrian-oriented residential and mixed-use community incorporating neotraditional neighborhood planning principles with a mix of densities and amenities
  - To establish a collection of linked pedestrian-friendly neighborhoods featuring high architectural design character and quality of construction, consistent with the Early California Design Themes identified in the Heritage Zone policy, as well as providing extensive landscape/tree planting and a strong sense of place
- To create an identifiable gateway to the Springville Specific Plan Area and western Camarillo
  - To provide a series of parks, open spaces, and landscaped pedestrian and bike trails within the Springville Specific Plan Area and connecting to the City's existing circulation system
  - To meet a variety of the future housing needs of the City of Camarillo in a location that is an infill property within the existing City limits and within the City CURB limits
  - To develop at densities that provide for an appropriate housing and land use mix but do not adversely impact surrounding infrastructure or existing neighborhoods
  - To provide neighborhood retail and office services to serve the neighboring and local residents in a mixed-use, village square venue
  - To develop neighborhood specialty and service shopping facilities that incorporate plazas, pedestrian ways, bikeways, adequate parking, and safe access from adjacent thoroughfares

- To provide a development transition and buffer between mixed-use, commercial, and residential development and open space and agricultural land

## 1.4 AUTHORITY

**California Government Code** Section 65450 gives a legislative body the authority to prepare a specific plan for the systematic implementation of a general plan for all or part of the area covered by that general plan. As outlined in the Government Code Sections 65451–65452, specific plans are to contain a text and diagram or diagrams specifying the following:

- The distribution, location, and extent of land uses
- The distribution, location, and extent of major infrastructure improvements needed to support the land uses described in the plan (for this project, a detailed infrastructure plan will be prepared)
- Development standards and criteria
- A phasing plan
- A program of implementation measures
- A statement of the relationship of the specific plan to the general plan
- Any other subjects necessary or desirable for the implementation of the General Plan

After it is adopted (either by ordinance or resolution), a specific plan supplements existing zoning regulations and has an effect similar to the local general plan. For example, the California **Subdivision Map Act** requires the legislative body to deny approval of a tentative or final subdivision map if it is not in substantial conformance with the applicable specific plan. In addition, a development agreement between a municipal body and a developer/applicant cannot be approved unless the legislative body finds the agreement is consistent with the General Plan and any applicable specific plan.

## 1.5 RELATIONSHIP TO THE CITY OF CAMARILLO GENERAL PLAN

The **City of Camarillo General Plan** guides development of the City. The General Plan includes the following elements: Land Use, Circulation, Scenic Highways, Housing, Recreation, Open Space and Conservation, Community Design, Safety, and Noise. A primary component of the Land Use Element is the Land Use Map, which designates the land use classifications and land use patterns intended to achieve the City's overall land use objectives.

The General Plan land use designations for the Specific Plan Area include Low Medium Density Residential, Medium Density Residential, High Density Residential, Village Commercial/Office, Open Space, and Park uses. The proposed zoning designations for the site are consistent with the General Plan Land Use, Recreation, and Circulation Elements.

A map illustrating proposed General Plan and Zoning designations for the site is provided in Chapter 2 of this Specific Plan.

### 1.5.1 INCLUSIONARY HOUSING

In accordance with the Housing Element of the City's General Plan, the Springville Specific Plan residential development will provide a range of housing types. The Springville Specific Plan will include a mixture of lower income housing as defined in Sections 50093 and 50079.5 of the Health and Safety Code, at a minimum of 20 percent of the total residential development. In exchange for this provision, the City will consider modifications to the RPD requirements in lieu of the alternative density bonus. This is also consistent with the City's inclusionary policy.

### 1.5.2 JURISDICTIONAL BOUNDARIES AND POLICIES

The entire Specific Plan Area is located within the corporate boundary of the City of Camarillo. In 1998, the City of Camarillo adopted an SOAR Ordinance, which created a City Urban Restriction Boundary (CURB) and placed it on the ballot in November 1998 for voter approval. This CURB was approved. The purpose of the CURB is to create a boundary defining the area in which urban development will be allowed through the year 2020, the horizon year for the City's General Plan. Through the year 2020, the City of Camarillo will restrict urban services and land uses to land located within the CURB. The Specific Plan Area is located within the City's CURB, and development of the area is consistent with this ordinance.



## 1.6 ORGANIZATION OF THE SPECIFIC PLAN

The organization of the Specific Plan and the directions for its use are defined below.

- Chapter 1: Introduction—The introduction provides background information and outlines the intent and structure of the Springville Specific Plan Area and this Specific Plan, and establishes the regulatory authority of the Plan and its relation to other regulatory documents.
- Chapter 2: Development Plan—This chapter defines the pattern and intensity of land uses allowed in the Specific Plan Area, the planned open space network, and the utility networks planned to serve the allowed land uses.
- Chapter 3: Design Objectives, Development Standards, and Design Guidelines—This chapter includes site Development Standards, Design Guidelines, and Landscape Regulations.
- Chapter 4: Implementation—This chapter defines the policies and programs to be used to implement the Specific Plan.



# DEVELOPMENT PLAN





# DEVELOPMENT PLAN

## 2.1 INTRODUCTION

The Springville Specific Plan proposes a mix of residential densities and types, as well as a Village Center with mixed-use development, featuring local serving specialty retail, commercial and residential uses. The emphasis of the development plan is a gateway to the retail village, the village square, and the specific plan residential community, featuring increased pedestrian activity, landscaped parkways, parks, open space, and an enhanced circulation system.

## 2.2 LAND USE PLAN

The Springville Specific Plan, illustrated in Figure 2-1, has several land uses on the site, with the Village Square as the focus of the project. It is designed to allow phased development without affecting the four existing parcel boundaries (Section 1.2.2, Figure 1-4).

A statistical summary of the Specific Plan land use mix is provided in Table 2-1. Each of the residential areas within the Specific Plan has been designated for specific residential densities. These density designations are Low Medium, Medium, and High. Each of these density designations has a specific maximum number of allowed residential units attached to it. The allowed, maximum number of units per density area is illustrated in Figure 2-2.

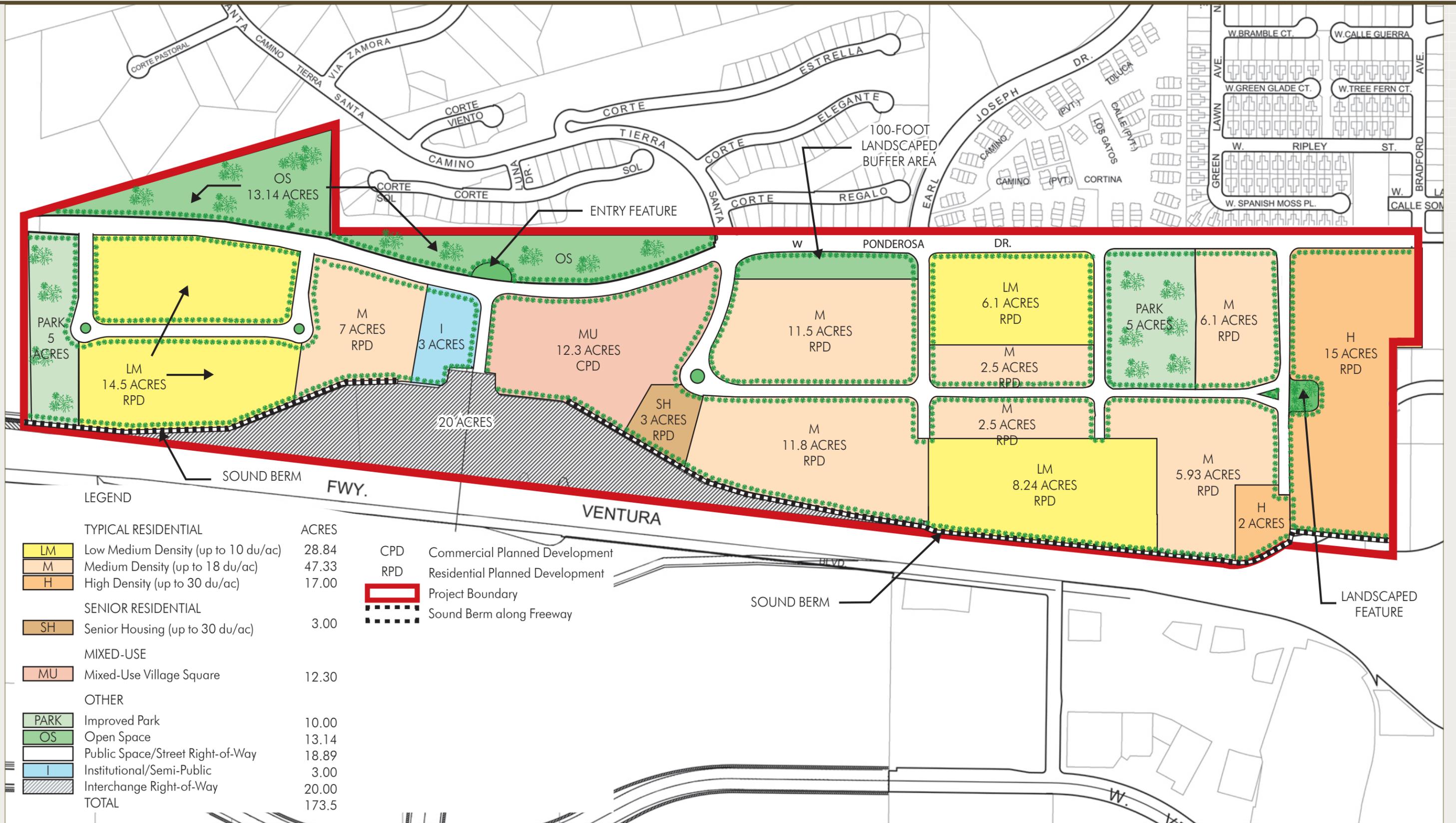


FIGURE 2-1 APPROVED PROJECT LAND USE PLAN

| SOURCE | EIP Associates, a Division of PBS&J, 2008.



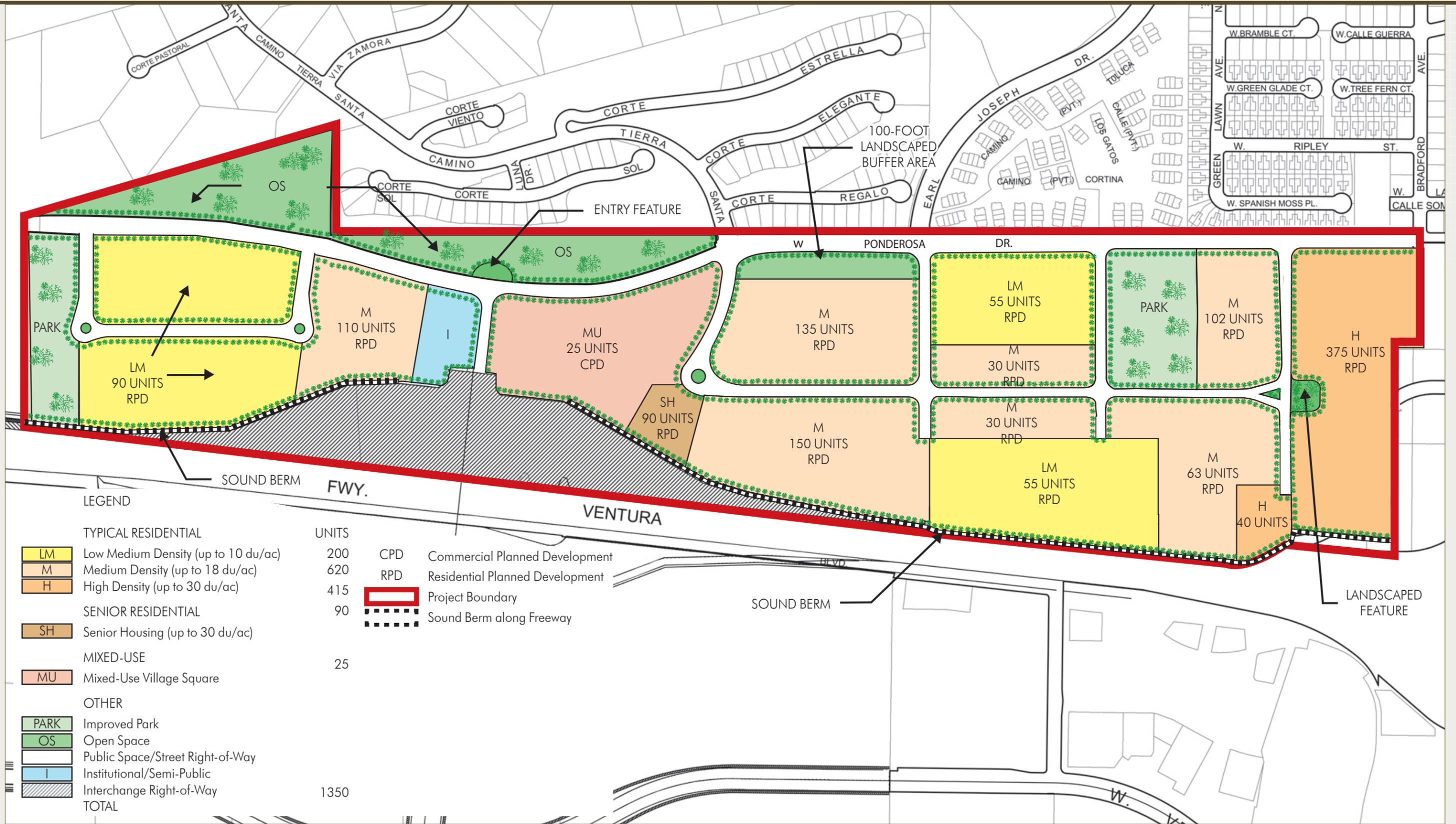


FIGURE 2-2 RESIDENTIAL UNITS/DENSITY PER PARCELS

| SOURCE | EIP Associates, a Division of PBS&J, 2008.



TABLE 2-1 STATISTICAL LAND USE SUMMARY

Land Use	Net Acres/ Parcel	Max. Allowed Units/SP	General Plan Max. Allowed (du/ac)
<b>Residential</b>			
Low-Medium Density	14.5	90 units	10/du/ac
	6.1	55 units	10 du/ac
	8.2	55 units	10 du/ac
Medium Density	7.0	110 units	18 du/ac
	2.5	30 units	18 du/ac
	2.5	30 units	18 du/ac
	6.1	102 units	18 du/ac
	5.9	63 units	18 du/ac
	11.5	135 units	18 du/ac
	11.8	150 units	18/du/ac
High Density	15.0	375 units	30 du/ac
	2.0	40 units	30 du/ac
Senior Housing	3.0	90 units	30 du/ac
<i>Subtotal</i>	96.2	1325 units	
<b>Mixed-Use/Commercial</b>			
Residential		25 units	
Village Commercial Retail/Office			(.3 FAR allowed) max. of 150,000 gross sq ft
<i>Subtotal</i>	12.3		
<b>Total Residential Units</b>		1,350 units	
<b>Other Uses</b>			
Institutional/Semi Public	3.0		
<i>Subtotal</i>	3.0		
<b>Open Space</b>			
Improved Park	10.0		
Other Open Space	13.1		
<i>Subtotal</i>	23.1		
<b>Streets</b>			
Public Space / Street Rights-of-Way	18.9		
<i>Subtotal</i>	18.9		
Springville Drive Interchange Right-of-Way	20.0		
<i>Subtotal</i>	20.0		
<b>Site Total</b>	<b>173.5</b>		

| SOURCE: | City of Camarillo February, 2005.



The maximum allowed number of residential units is consistent with the City’s General Plan, which allows 10, 18, and 30 units per acre, respectively; however, in some cases the maximum number of units allowed in the Specific Plan is fewer than the maximum per/acre limit under the General Plan.

### 2.3 ZONING CLASSIFICATIONS

The zone classifications for the Springville Specific Plan Area will be reclassified from the existing RE, Rural AE-Agricultural Exclusive Zoning Code designation to RPD-Residential Planned Development, CPD Commercial Planned Development, I Institutional/Semi Public, and OS Open Space. The Specific Plan document identifies the specific development standards and design guidelines that shall be applied to all future development within the Plan Area. The Specific Plan shall be adopted by resolution and acts to facilitate the City Zoning Code.

The standards set forth herein supersede the requirements found in the City of Camarillo Zoning Ordinance. If in any case there are categories where the Plan does not establish or define new standards, the existing standards of the underlying zone as set forth in the City of Camarillo Zoning Ordinance shall apply. This plan may, however, further specify development regulations that are not currently addressed in the Zoning Ordinance.

### 2.4 UTILITY MASTER PLANS

This section presents the master plans for utility improvements. The precise location and size of the water and sewer lines may be modified as part of the subdivision map process.

#### 2.4.1 POTABLE WATER SYSTEM

Potable water is provided to the Specific Plan Area by the Camarillo Municipal Water Department through 6- to 8-inch diameter water mains in West Ponderosa Drive, Earl Joseph Drive, Tierra Santa, and Daily Drive. Las Posas Road is 10- to 12-inch diameter. The approved uses would receive potable water through a looped distribution system that would connect with the 12-inch water main in Las Posas Road, east of the Specific Plan Area.

#### 2.4.2 WASTEWATER SYSTEM

Wastewater generated within the Specific Plan Area will be treated by the Camarillo Sanitary District water reclamation plant. Development of the Specific Plan will extend facilities to the Plan Area in a manner consistent with the existing District Sewer Master Plan. Major trunk facilities, which were previously installed under a Mello Roos District, exist in the area. The reclamation plant has adequate capacity for the effluent.

#### 2.4.3 STORMWATER DRAINAGE

Stormwater occurring within the Specific Plan Area will drain into retention basins located in the exposed areas in the southern part of the site. Runoff from the retention basins will discharge into the existing storm drain system. The storm water drainage plan shall be consistent with the provisions of the City of Camarillo Department of Engineering Services Master Plan of Drainage.

#### 2.4.4 NATURAL GAS

Natural gas service is provided to the Specific Plan area by the Southern California Gas Company via 6-inch high-pressure lines in West Ponderosa Drive, Earl Joseph Drive, and Tierra Santa. The approved land uses would connect to either or both of these existing lines via installation of a regulator station and local distribution lines.

#### 2.4.5 ELECTRICITY

Electrical power is provided to the City of Camarillo by Southern California Edison. Underground transmission lines are presently located along the northern perimeter of the Specific Plan Area along West Ponderosa Road. The approved uses would connect to these existing lines.

#### 2.4.6 TELECOMMUNICATION

Telephone and computer services are provided under contract to the City by Verizon. The existing lines are located both east and west of the Specific Plan Area and will be extended to the area to serve the approved uses.

Cable TV and computer service is provided to the City by Verizon and Adelphia. The existing cables are located north of the Specific Plan Area and will be extended to the area to serve the approved uses.



DESIGN OBJECTIVES,  
DEVELOPMENT STANDARDS,  
AND DESIGN GUIDELINES





# DESIGN OBJECTIVES, DEVELOPMENT STANDARDS, AND DESIGN GUIDELINES

This section of the Specific Plan contains the following elements:

- The Vision and Design Objectives of the Specific Plan (Section 3.1)
- Design Guidelines and Development Standards (Section 3.2)

The Vision and Design Objectives outline the character and functional intent for the entire Specific Plan Area. Such objectives as, emphasis on pedestrian activity and provision of a gateway to a local serving retail village are identified and discussed in order to define the unique character of this Specific Plan of Development.



The Design Guidelines provide the overall design intent and visual parameters for development of each land use type. They are expected to be used in conjunction with the Development Standards during the project design and review phases, in order to ensure quality development and to implement the goals and objectives of the Specific Plan.

The Development Standards, unlike the more interpretable Design Guidelines are requirements that address those aspects of site development and building design that are essential to achieve the goals and objectives of the Specific Plan. The Development Standards provide additional clarity to the Design Guidelines by setting required numerical and operational limits that are not interpretable.

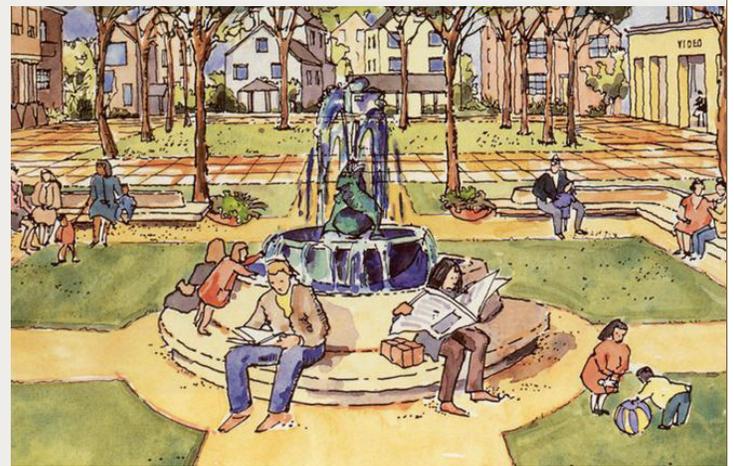
The contents of this section do not intend to replicate the City's Zoning Code. This Plan defines development standards that shall be applied to future individual developments within the Plan Area. The standards set forth herein supersede the requirements found in the City of Camarillo Municipal Code, Zoning Ordinance.

### 3.1 THE VISION: DESIGN OBJECTIVES FOR THE SPECIFIC PLAN AREA

A neotraditional community design (often called "New Urbanism") has been considered in the preparation of this Specific Plan. It is a planning principle recognized as a design tool for community planners throughout the country who desire a design with an emphasis on community connection, promotion of pedestrian activity and reduction in auto dependency. Neotraditional neighborhoods are more compact communities designed to encourage bicycling, and walking for short trips by providing destinations close to home and work, and by providing sidewalks and a pleasant environment for walking and biking.



These types of traditionally designed communities fell out of favor from the 1940s through the 1970s. Recently traditional designs have been re-emerging in newly defined ways. Because the prefix *neo-* means new, neotraditional design in communities means that traditional design is new once again. This neotraditional urban form returns the focus of a community to pedestrian-orientation with a greater balance between pedestrian and auto use. It also focuses on mixed-use commercial and residential development, where the retail and service hub of the community is an integral part of the residential activity. In addition, it focuses on the development of a community network of streets and paths surrounding and connecting the residential areas to the open space and recreation areas as well as to the retail and service areas in a manner similar to the "small town" communities of the past.



The neotraditional approach is a return to those planning aspects of the traditional towns that were built at least 65 years ago. Some of the important aspects of the neotraditional approach include smaller front yards, front porches, increased housing density with smaller and narrower lots, quality architecture, centrally located gathering areas, nearby (within 5 minutes, or ¼ mile) shopping and recreational areas, garages that are out of view from public street fronts, alleys, and narrower, interconnected tree-lined streets with wider sidewalks.

The neotraditional community design approach used in this Specific Plan is a revisited form of the traditional American town planning methods from the pre-modernist era. It is a planning method based on a time when society was not nearly as dependent on technology, especially the automobile. Because of this, the basic principles of neotraditional planning are very compatible to those of sustainable design, particularly in the area of transportation planning. These fundamental principles serve as the foundation upon which the Design Guidelines and Development Standards are based.



### 3.1.1 VILLAGE CENTER MIXED-USE DESIGN OBJECTIVES

The goal of this Specific Plan is to develop a neotraditional community with a residential neighborhood surrounding a village center and incorporating a village square. The primary design objective for the Village Center is a medium-density, moderately scaled, mixed-use development with a variety of retail/commercial activities and places to live and gather for people of all ages. The center of focus of the Village Center will be the Village Square, which will be designed as an “outdoor community room” equipped with a fountain and areas designed for mingling with neighbors. A modest array of neighborhood retail shops will provide the backdrop for the Village Square, providing public open space that can be used by community residents for play, recreation, social, and cultural activities.



The resulting Village Center and Village Square will define a community that has a decreased dependence on the automobile, provides a greater proportion of open space to development space, and has a greater level of convenience and amenities for residents as well as for nearby communities. Within

the Village Center, the mixed-use buildings will include retail uses located on the first floor and facing the street or an open plaza, while the office and residential uses will occupy the upper floors. Office uses can occupy the ground floor when they are located behind the retail uses, with access from the interior, rear, or side of the development.



Mixed-use development will be designed as blocks with pedestrian access from the front or rear and auto access from the rear and sides of the blocks. This design will include either a large single plaza or a series of plazas or courtyard-type developments. The Village Center will be designed to be compact, providing a variety of stores and services opening onto a single plaza or series of plazas with places to dine or relax from shopping.



A seamless connection is envisioned between the mixed-use commercial and housing, the plazas, and Village Square activities. While each of these activities is separate and will take place in separately defined spaces, there is a significant interface between the two. It is the provision of this seamless interface within the larger space, clearly defined as the center of community activity, that will provide a unique and distinct character as well as a sense of place for the Village Center and the Village Square. The interface between residential development, community open space, and mixed-use retail

design will be developed through the use of decorative thematic landscape and hardscape design utilizing increased building setbacks and increased pedestrian activities. These elements are incorporated into the Development Standards as well as the Design Guidelines.

### 3.1.2 PEDESTRIAN-ORIENTED DESIGN OBJECTIVES

The Design Guidelines and Development Standards reinforce the “neotraditional community” image through the emphasis of architecture, landscaping, and hardscape elements at the pedestrian level.

Pedestrian-oriented design plays a significant part in defining this Specific Plan’s neotraditional community by facilitating the direct relationship between the single-family residential neighborhoods and the Village Center mixed-use development. The mixed-use commercial buildings orient directly to the adjacent sidewalk or public plazas and away from parking lots. The parking areas or structures are located behind buildings and out of view or screened from all pedestrian areas or plazas.



The Street and Intersection design standards reinforce the “small town” character by creating pedestrian scale streets that also provide for efficient vehicular circulation. This is accomplished by devoting approximately twice the total street right-of-way widths as illustrated in the general street design cross-sections to sidewalks, bike paths and landscape parkways (for street design cross-section dimensions, see Section 3.2.14, Figure 3-13 to Figure 3-19). A maximum of one lane in each direction and a landscaped median for the main arterial (Springville Promenade) will slow the speed of vehicular traffic and lend itself to the desired pedestrian scale (see Figure 3-1). The inclusion of parking lanes and sidewalks on both sides of the street will promote “park and walk” pedestrian activities.



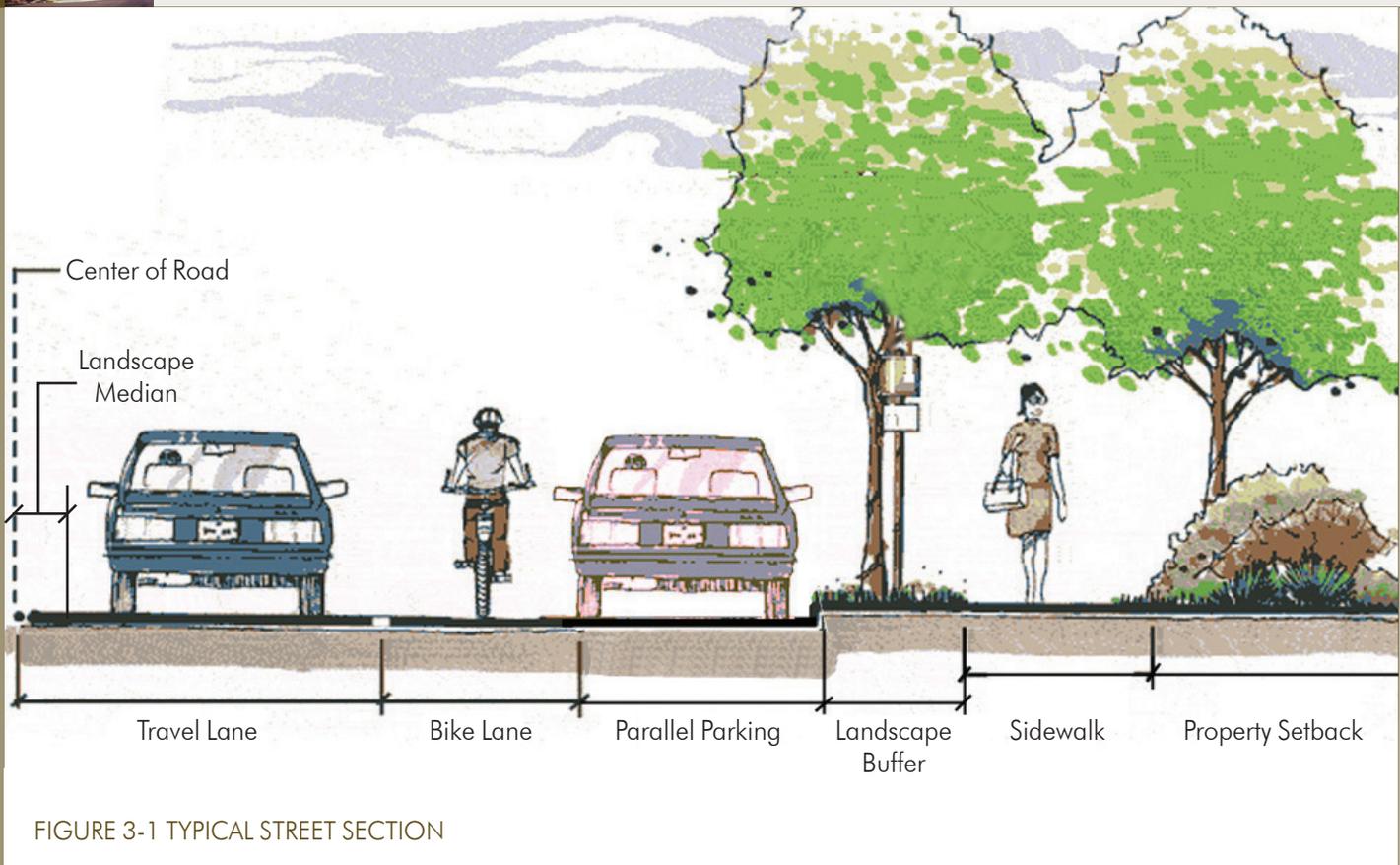


FIGURE 3-1 TYPICAL STREET SECTION

The design of the traffic calmer/roundabout (Section 3.2.1.4, Figure 3-17) includes landscaping and public art. It provides a distinctive terminus to the vista in both directions for people walking, biking, driving, or riding in a vehicle along the Promenade. The roundabout both calms traffic as it enters and leaves the Village Square and provides increased efficiency for moving vehicles by providing safe access through an intersection without the delay of a traffic signal. The crosswalks provide improved pedestrian safety. Enhanced paving is designed to slow traffic and add to the entry of the Village Square and Village Center as well as enhance the transition between the commercial and residential activities.

With the exception of the northwestern hillsides, the Specific Plan site has relatively flat topography; therefore, the network of streets and sidewalks/circulation system has few physical constraints. With the proposed neotraditional planned, the circulation system has purposely been designed with interconnected streets circulating throughout clustered housing. The resulting circulation system is efficient and lends itself to a small community environment. In keeping with the neotraditional urban form concept, the Specific Plan provides public open space at the center of the project, local serving commercial services within a short walk or auto trip and easily accessible parking for residents and commercial patrons.

### 3.1.3 INSTITUTIONAL/SEMI-PUBLIC DESIGN OBJECTIVES

The Specific Plan consists of one area designated for institutional and/or semi-public land uses. This area totals approximately three acres and is located on the western portion of the Specific Plan area. The majority of the three-acre parcel is developed with farmland, and contains one farm house and several outbuildings congregated in a small area to the north and northeast corner of the property. While this residence is not formally designated as a historic landmark, it may have a connection to the agricultural history of the area and some historic architectural significance as well. An important function of this area is to tell the story of the evolution of the rich agricultural heritage to which the area belongs.

A possible option is that the original structures and/or surrounding farmland could be used in ways such that the public can appreciate the agricultural history and culture of the area. Examples of appropriate land uses include, but are not limited to, a visitor center, museum, cultural center, and garden. New buildings will be integrated into this historic context and be used for institutional and semi-public land uses. As a prominent gateway into the Springville Specific Plan area from the Ventura Freeway, the historic theme of this site will serve as a gathering place and destination for enjoying Camarillo’s agricultural, historical, and cultural heritage. It will also serve as a transition between the residential development to the west and the Village Square to the east, while creating pedestrian linkages to these areas and to the open space to the north.

Alternatively, if the area is utilized for other uses, it would be required to have a historical link to the townsite through the use of a public open space in the form of a themed plaza or garden.

### 3.1.4 RESIDENTIAL DESIGN OBJECTIVES

The objective of the Design Guidelines and Development Standards in the residential areas is to use neotraditional urban design and architecture as a standard, coupled with effective and balanced pedestrian-oriented environments.

Residential uses make up the majority of development in the Specific Plan Area. Within the residential planning areas, three land use densities are allowed: Low-Medium, Medium,

and High density residential development. In accordance with the City’s General Plan, these designations allow maximum densities of 10, 18, and 30 units per acre, respectively. Within each of these land use density neighborhoods, in accordance with the Scenic Heritage requirements for the area, the Design Guidelines allow several styles of Early California/Spanish Colonial architecture. In addition, the Development Standards for the Low-Medium residential land uses require four variations of floor plans and four distinct exterior elevations. These design variations promote visual and aesthetic interest while adding to the sense of neighborhood within the residential community. In addition, they allow the flexibility to respond to changing market conditions while achieving a variety of building types within each density designation. This variety contributes significantly to the community character and removes the appearance of a “mass produced” community.





Residential development shall be more diverse in style than the commercial/mixed-use development, partly because there is so much more residential development proposed, but also because this allows homeowners the opportunity to express their personal style. In keeping with the neotraditional theme of this Specific Plan, a fundamental principle of the residential development is that the pedestrian's needs are to be as important as the vehicular needs for these properties

■ Summary

The neotraditional urban form is proposed as a ruling principle, promoting a "sense of place." Key characteristics of this urban form include balance between pedestrian and auto activity; moderately scaled, mixed-use development; a retail service village; and a village square used as an "outdoor community room."

- The streets are designed to emphasize and enhance pedestrian and bicycle circulation while efficiently moving vehicles, with access to public, private, and commercial uses.
- A hierarchical street layout and clustered residential design reflects the guiding principle that streets on which residences front shall serve the least traffic possible and reduce or eliminate "through-traffic."





- Prominent tree-lined parkways, wide sidewalks, bike lanes, and street parking enhance pedestrian safety and activity.
- Commercial buildings oriented toward the street and/or plazas, with access to wide sidewalks or plazas, make an appealing, pedestrian-friendly environment.

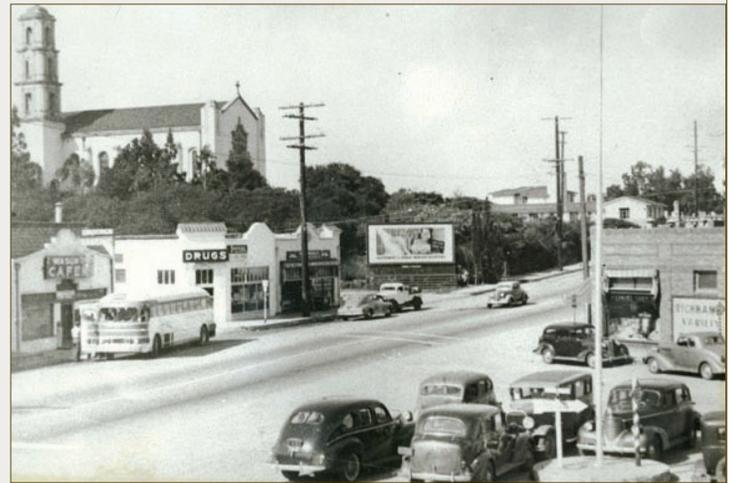
## 3.2 DESIGN GUIDELINES AND DEVELOPMENT STANDARDS



### 3.2.1 CONSISTENCY WITH THE CITY'S HERITAGE ZONE

This section identifies and incorporates the City's Heritage Zone and Consistency requirements for new development in terms of architectural character/style. These requirements are thus incorporated into the Development Standards and Design Guidelines. Based on this Heritage Zone consistency principle, four architectural styles are recommended for the Springville Specific Plan Area. The architectural styles are presented with illustrative and textural explanations identifying all key elements significant to each style.

After providing a clear understanding of the preferred architectural styles, this section presents several types of graphic illustrations articulating the specific Design Guidelines and Development Standards pertinent to each land use type and density designation identified in this Specific Plan area (e.g., Park and Open Space, Mixed Use, Institutional/Semi-Public, and Low-Medium, Medium, and High Density Residential.). The information is presented in this manner from general to specific for two reasons. First, the reader will gain a more thorough understanding of how the guidelines and the requirements overlap and support each other, resulting in improved building design. Second, the reader gets a one-stop location for all design expectations and development requirements, making it easier to incorporate them into the development plans.



Consistent with the Heritage Zone design program as set forth in the Community Design Element of the City's General Plan, development within 500 feet of the freeway and 1,000 feet of the freeway Springville Drive Interchanges are required to have a particular design theme. The design theme deemed to be appropriate incorporates architectural and design styles that reflect the character of early California.





As stated in the General Plan, the most important aspect of the Heritage Zone is the type of materials, their colors and textures, the scale of the architectural elements within the building design, the building site configuration, and massing. In keeping with the requirements of the Heritage Zone and policies on consistency, the Springville

Specific Plan allows the following architectural styles (or modern interpretations of them):

- Spanish Colonial
- Revival, Mission
- Monterey
- Craftsman



■ Nonresidential Development

In accordance with the City’s Heritage Zone and development consistency policies, the mixed-use “Village Center” and the Institutional/Semi-Public development of the Specific Plan will adhere to the same architectural style and materials, building massing, configuration, and site design elements as the residential developments. The difference will be that the Village Center and the Institutional/Semi Public buildings will be limited to the use of only two Early California architectural styles. The number of styles is limited in order to create a unique village environment that allows some variation and is cohesive with other development in the Specific Plan. The specific architectural styles chosen are Spanish Colonial Revival and Mission. These styles lend themselves to the higher density and greater mass of commercial mixed-use development while still offering the elements desired for the residential portion.

### 3.2.2 INCLUSIONARY HOUSING

The Springville Specific Plan includes a range of housing types. The Springville Specific Plan residential component designates at least 20 percent of the total residential development as affordable housing for lower income households (10% very low and 10% low). The balance of the Springville Specific Plan includes a mixture of moderate to upper income housing. In exchange for the provision of affordable housing, the City will consider modifications to the RPD requirements or alternative density bonuses.

### 3.2.3 ARCHITECTURAL STYLES

In consideration of the neotraditional urban form envisioned for the site, the requirements of the Heritage Zone, the City’s consistency policies, and existing nearby development, the following four major architectural styles have been selected for the Springville Specific Plan Area:

- Spanish Colonial
- Revival, Mission
- Monterey
- Craftsman

Each style and its defining features are delineated as follows.

#### A. Spanish Colonial Revival Style (Figure 3-2)

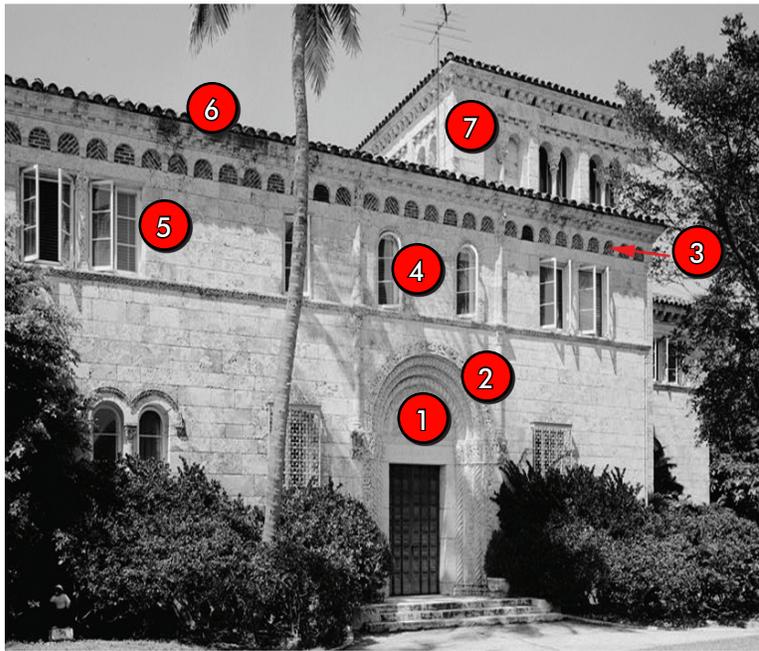
- Recommended for the Mixed Use, the Institutional/Semi-Public, and the High Density Residential Land Uses
- 1915–1940: The Spanish Colonial Revival Style is a twentieth century adaptation of the Spanish Colonial architecture, brought to California between 1600 and 1840.
- Unique features of the Spanish Colonial Revival Style include red tile hipped roofs, simple forms subtly decorated at doorways, ornamental ironwork as protective barriers over windows or on balconies, arcaded porches, ornate low-relief carvings highlighting arches, columns, window surrounds, cornices, and parapets.
- Stone or brick exterior walls often are left exposed or finished in plaster or smooth stucco finish. Windows can be either straight or arched. The façades of large buildings often are enriched with curvilinear and decorated parapets, cornice window heads, and symbolic bell towers.

Elements	Description
<i>Form</i>	<ul style="list-style-type: none"> <li>■ Varied – simple forms with symmetrical façades or intersecting elements</li> </ul>
<i>Roof</i>	<ul style="list-style-type: none"> <li>■ 4:12 to 12:12 pitch</li> <li>■ Gabled, hipped, domed or sculpted parapet roof</li> <li>■ 18” to 24” overhangs</li> <li>■ Barrel or “S” shaped red tile</li> <li>■ Some roofs can be flat with simple cornices</li> <li>■ Towers have tiled or colored domes</li> </ul>
<i>Walls</i>	<ul style="list-style-type: none"> <li>■ Smooth finish stucco as primary surface material</li> <li>■ Cement plaster or cast caps with Moorish, Spanish Gothic, Spanish Renaissance, or Spanish Baroque details.</li> <li>■ Applied stone/brick architectural details</li> </ul>
<i>Windows</i>	<ul style="list-style-type: none"> <li>■ Vertical, multi-paned, often grouped</li> <li>■ Decorative windows will be arched, lintel-type, round, oval, or square and will have Moorish or Spanish Colonial details such as stone framing and ironwork</li> <li>■ Residential windows may have exterior wood plank shutters</li> <li>■ Accent window openings have a minimum depth of 6”</li> </ul>



Elements	Description
<i>Details</i>	<ul style="list-style-type: none"> <li>■ Sculpted walls at façades</li> <li>■ Cantilevered balconies with wrought iron floors and railings</li> <li>■ All iron features shall be painted in matte black</li> <li>■ Recessed balconies with cast stone or wood columns, arched openings, and exposed beams. Balustrades can be iron or cement plaster</li> <li>■ Spanish Colonial Style, Malibu or Catalina decorative tile panels on bulkhead walls above storefront doors and windows.</li> <li>■ Cornices may be simple or arcaded.</li> <li>■ Stone Columns with Doric capitals and bases</li> <li>■ Spanish Baroque stone fountains, 1920's terra cotta or tile fountains manufactured in California, and fountains veneered with tile placed in the center of large pools</li> </ul>
<i>Color</i>	<ul style="list-style-type: none"> <li>■ Soft whites or light toned field</li> <li>■ Dark brown or deep jewel-toned wood trim or accents</li> <li>■ Natural stone detail elements</li> </ul>
<i>Exterior Paving</i>	<ul style="list-style-type: none"> <li>■ Terra cotta and glazed tile used together</li> <li>■ Different sized tiles laid in various geometric patterns</li> <li>■ Mission style brick and twentieth century bricks laid basket weave, herringbone, running flat, cross flat and diagonal flat patterns</li> </ul>





1. Spanish colonial sculpted detail on door frame
2. Arched entrance detail
3. Arcaded cornice
4. Arched decorative windows
5. Lintel-type window opening
6. barrel red tile roof
7. Tower with red tile roof
8. Tower with color tiled dome
9. Base treatment
10. Decorative moorish detail on window frame
11. Matte black iron cantilvered balcony
12. Spanish colonial light texture
13. Spanish colonial shade device/awning
14. Brick as accent material
15. Spanish barroque stone fountain
16. Stone columns with doric capitals and bases
17. Tower element with applied stone



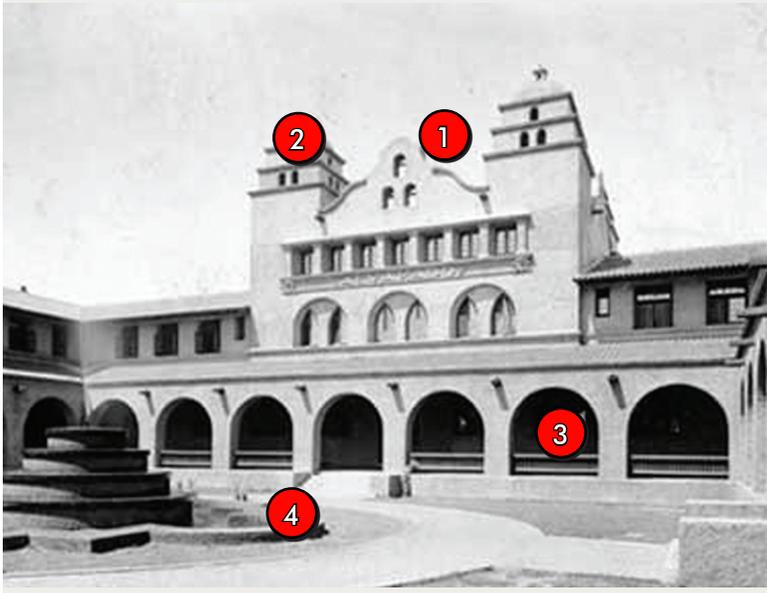
FIGURE 3-2 SPANISH COLONIAL REVIVAL STYLE ELEMENTS



**B. Mission Style (Figure 3-3)**

- Recommended for the Mixed Use, the Institutional/Semi-Public, and the High Density Residential Land Uses
- 1890–1920: The Spanish Mission Churches with their Baroque parapet gables and wall dormers were the starting point for the Mission Style, which began in California.
- Characteristic of the Mission Style is simplicity of form. Round arches supported by piers punctuate stucco or plastered walls. Color and texture are provided in the broad red-tiled roofs. Roof eaves with exposed rafters may extend well beyond the walls. At times the plain wall surface is continued upward forming a parapet. Towers, curvilinear gables, and small iron balconies are used on large buildings. The only surface ornamentation is a plain string course that outlines arches, gables, and balconies.

Elements	Description
<i>Form</i>	<ul style="list-style-type: none"> <li>■ Varied—simple forms with symmetrical façades or intersecting elements</li> <li>■ The Mission style has very little decorative detailing, in contrast to the more ornate Spanish Colonial Revival style. Generally, the only surface ornamentation on a Mission building is a plain string course that outlines windows or arches</li> <li>■ The curvilinear-shaped roofline also distinguishes the Mission from the Spanish Colonial Style</li> </ul>
<i>Roof</i>	<ul style="list-style-type: none"> <li>■ Gabled roofs with decorative raised parapet</li> <li>■ Hip roofs with straight or flared eaves</li> <li>■ Pointed caps on circular towers</li> <li>■ Barrel or ‘S’ shaped clay or concrete red tile</li> <li>■ Flat roofs as accents on elements of the main building, such as porches and colonnades</li> <li>■ Square cornered towers with octagonal drums</li> <li>■ Smaller turrets are used in secondary corners</li> <li>■ Roof dormers with gable or hip roofs</li> <li>■ Roof dormers with raised mission parapet</li> </ul>
<i>Walls</i>	<ul style="list-style-type: none"> <li>■ Smooth finish stucco as primary surface material with no ornamentation, except for some arches at doorways, gables, and balconies</li> <li>■ Raised gable walls will have a curved mission style parapet wall</li> <li>■ Base treatment within 6 feet from the ground</li> </ul>
<i>Windows</i>	<ul style="list-style-type: none"> <li>■ Vertical and round arched windows</li> <li>■ Accent window openings have a minimum depth of 6”</li> </ul>
<i>Details</i>	<ul style="list-style-type: none"> <li>■ Curvilinear-shaped gable wall or low parapet wall rising above the roofline</li> <li>■ Round arched entries</li> <li>■ Recessed balconies with flat or round arch openings and solid balustrades covered with cement plaster</li> <li>■ Cantilevered balconies over porches with flat roofs and solid balustrade covered with cement plaster</li> <li>■ Balustrades are part of the wall below</li> <li>■ All iron features shall be painted in matte black</li> <li>■ Arcaded porches with cement plaster or wood Doric columns</li> <li>■ Projecting eaves with exposed rafters</li> </ul>
<i>Color</i>	<ul style="list-style-type: none"> <li>■ Soft whites or light toned field</li> <li>■ Dark brown or deep jewel-toned wood trim or accents</li> </ul>
<i>Exterior Paving</i>	<ul style="list-style-type: none"> <li>■ Terra cotta tiles laid in a grid pattern</li> </ul>



1. Curvilinear shaped gable
2. Bell dome tower
3. Arcaded porche
4. Terra cota tiles and stone fountain
5. Recessed balcony
6. Cantilvered matte black iron balcony
7. Window shape variation
8. Round sculpted arch at entry
9. Base treatment
10. Red tile tower roof
11. Projecting eaves with exposed rafters
12. Red tile gabled roof
13. Balcony with solid balustrade covered with cement plaster
14. Round arched windows

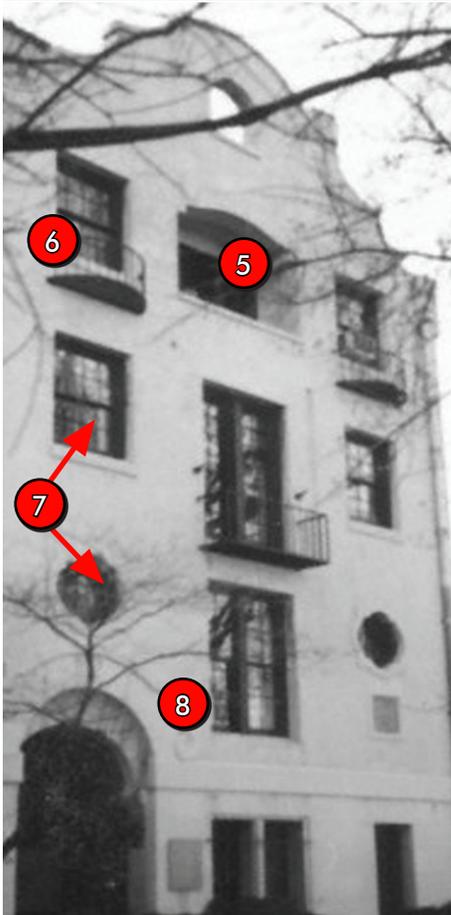


FIGURE 3-3 MISSION STYLE ELEMENTS



### C. Monterey Style (Figure 3-4)

- Recommended for the Low-Medium, Medium, and High Density Residential Land Uses
- 1925–1955: First “Monterey” Style house was built in 1837 in Monterey California. The house blended the basic two-story New England colonial house with the Spanish adobe construction. This innovation included two roofed corridors or porches around the structure, creating a new style. The gently sloped roof was often covered with wood shingles instead of tile and served to protect the adobe walls.
- In the 1920s the compulsive search for colonial precedent led to a revival and a proliferation of the Monterey Style. Interpretations of the Monterey Style can now be found across the country.

<i>Elements</i>	<i>Description</i>
<i>Form</i>	<ul style="list-style-type: none"> <li>■ Varied—simple forms with symmetrical façades or intersecting elements</li> <li>■ One or two stories</li> </ul>
<i>Roof</i>	<ul style="list-style-type: none"> <li>■ Gabled and hipped roofs, from 2:12 to 5:12 in pitch</li> <li>■ Simple hip, gable and shed forms</li> <li>■ Exposed rafter tails or profiled cornice at eaves (no stucco soffits)</li> <li>■ Clay tile, S shaped tile, or concrete shingles</li> </ul>
<i>Walls</i>	<ul style="list-style-type: none"> <li>■ Smooth or sand finish stucco as primary surface material with no ornamentation</li> <li>■ Cut or cast concrete accents</li> <li>■ Clay pipe scuppers and vents</li> <li>■ Shutters at window, accent windows</li> </ul>
<i>Windows</i>	<ul style="list-style-type: none"> <li>■ Accent window openings have a minimum depth of 6”</li> <li>■ Flat, arched, segmental or half round window heads</li> <li>■ No trim typically at heads or jambs or typical openings</li> <li>■ Stone, cast concrete, on plastered trim at openings, or at sills of typical openings</li> </ul>
<i>Details</i>	<ul style="list-style-type: none"> <li>■ Heavy exposed beams</li> <li>■ Wood balconies supported by heavy wood posts and roofed with low-pitched shed roofs</li> <li>■ Roofed open corridors or porches around the structure on first and second level</li> <li>■ Masonry or wood column and balustrades</li> <li>■ Arcades and trellises</li> <li>■ Decorative tile insets</li> <li>■ Simple stucco covered chimneys with simple cornices on top</li> </ul>
<i>Color</i>	<ul style="list-style-type: none"> <li>■ Soft off whites</li> <li>■ Dark brown wood</li> <li>■ Vibrant color paint and tile accents, especially Monterey Blue color</li> </ul>
<i>Exterior Paving</i>	<ul style="list-style-type: none"> <li>■ Terra cotta tiles laid in a grid pattern</li> <li>■ Other paving materials or patterns with approval</li> </ul>



1. Exposed rafter tails
2. "S" shaped red tile
3. Wood shingles
4. Smooth finish stucco
5. Flat window head with shutters
6. Heavy exposed beams
7. Wood balconies supported by wood posts and roofed with low-pitched roofs
8. Roofed open corridors/porches on both levels
9. Wood columns
10. Arcade

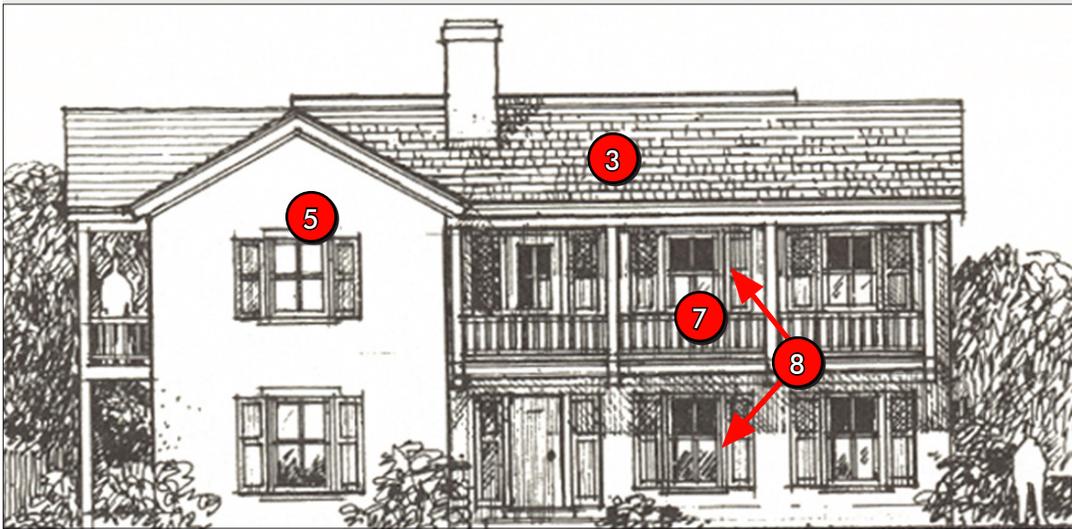


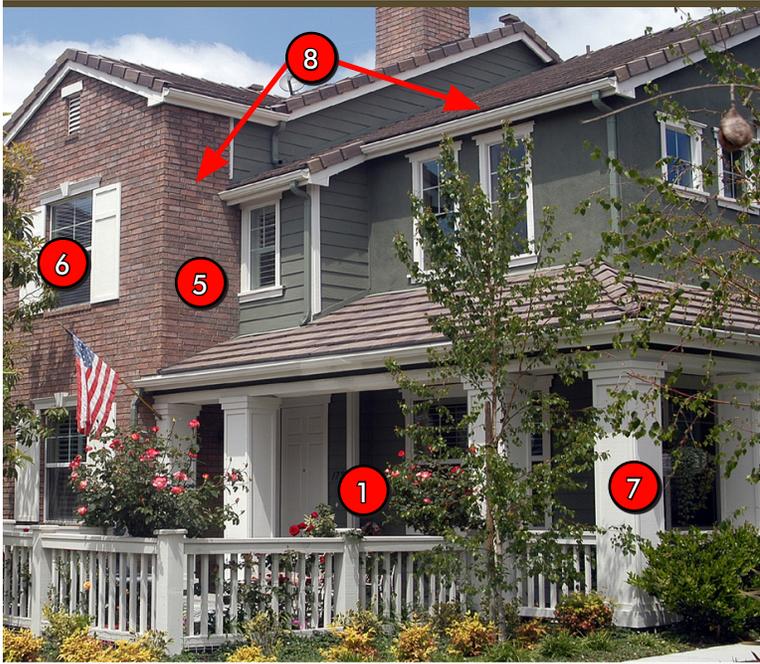
FIGURE 3-4 MONTEREY STYLE ELEMENTS



### D. Craftsman Style (Figure 3-5)

- Recommended for the Low-Medium, and Medium Residential Land Uses
- 1900–1930: The Craftsman Style originated in California in the 1890s but was first published and promoted in 1901 in the magazine *The Craftsman*, which is where it got its name. The style is also referred to as the “Bungaloid Style.”
- The main characteristics of a Craftsman house are the rustic texture of the building materials, broad overhangs with exposed rafter tails at the eaves, and often extensive pergolas and trellises over large porches at the lower level. Stone was laid in a random texture of rounded cobblestones. The lower portion of a wall was often battered or sloped near the ground.
- The primary inspiration for the Craftsman style was to look to nature, local materials, local (nationalist or native) building traditions, and to design and construct after the manner of craft traditions: iron blacksmithing, pottery, coarse weaving, and rough hewn materials.

Elements	Description
<i>Form</i>	<ul style="list-style-type: none"> <li>■ Varied forms with symmetrical façades or intersecting elements</li> <li>■ The Craftsman bungalow is typically one to two stories, with a long sloping roof line and a wide, sheltering overhang that covers a large front porch on the ground level</li> </ul>
<i>Roof</i>	<ul style="list-style-type: none"> <li>■ Low pitched (4:12 max.) gable roofs, with extensive overhangs</li> <li>■ Exposed, profiled rafter tails eaves, and simple wide gable boards with trim (no stucco soffits)</li> <li>■ Flat shake tile roofs</li> </ul>
<i>Walls</i>	<ul style="list-style-type: none"> <li>■ Wide horizontal wood siding, stone or brick combined with smooth stucco</li> <li>■ Frequent use of cobblestone and river rock on lower level</li> <li>■ Occasional use of brick at base of wall or porch (lower level and porch are typically raised from the ground a couple of feet)</li> </ul>
<i>Windows</i>	<ul style="list-style-type: none"> <li>■ Vertical and square windows combined into horizontal groupings</li> <li>■ Single or double hung windows</li> <li>■ Surrounded by wide and carefully detailed wood trim</li> <li>■ Accent window openings have a minimum depth of 6"</li> </ul>
<i>Details</i>	<ul style="list-style-type: none"> <li>■ Tapered wood posts set on rectangular or tapered masonry piers</li> <li>■ Exposed wood beams and brackets, profiled at the ends</li> <li>■ Extensive use of gabled porches</li> <li>■ Ornamentation in the wood railings</li> </ul>
<i>Color</i>	<ul style="list-style-type: none"> <li>■ Mostly brown in wood treatment</li> <li>■ Rich earth-toned accents</li> <li>■ Occasionally lighter whites, grays, and flat blues</li> </ul>
<i>Exterior Paving</i>	<ul style="list-style-type: none"> <li>■ Terra cotta tiles laid in a grid pattern</li> </ul>



1. Large front porch on entry level, raised from the ground
2. Low pitched gable roof with extensive overhands
3. Flat shake tile roofs
4. Wide horizontal wood siding
5. Brick or stone
6. Vertical or square windows
7. Tapered wood columns
8. Earth toned accent colors/materials
9. Exposed wood beams and brackets

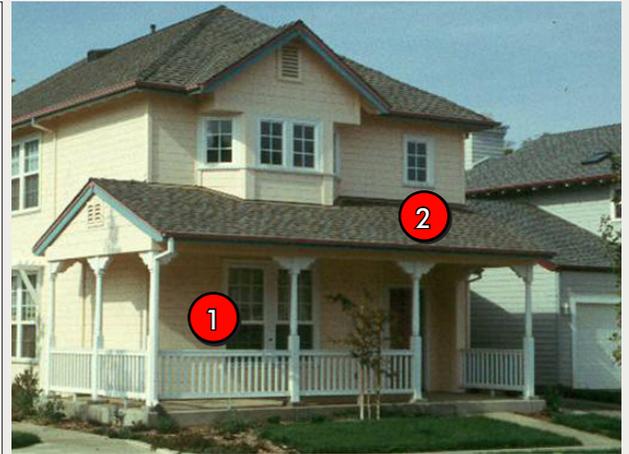
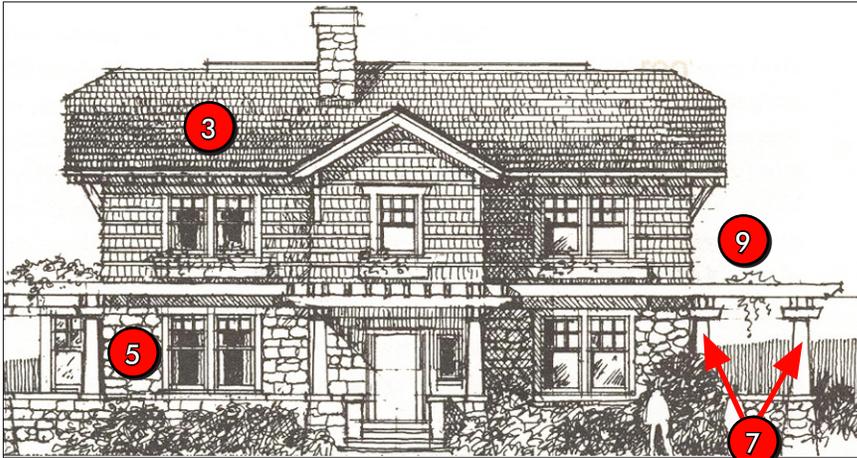


FIGURE 3-5 CRAFTSMAN STYLE ELEMENTS



### 3.2.4 MIXED-USE DEVELOPMENT

The mixed-use land use component of the Specific Plan occurs around the Village Center area. Mixed-use properties are a unique development type in that they combine multi-family residential development with retail and office commercial uses. The typical and most successful mixed-use design has retail uses located on the first-floor street or public plaza frontage, while the office and residential uses occupy the upper floors. Office uses can occupy the ground floor when they are located behind the retail uses, with access from the interior, rear, or side of the development. Mixed-Use development is consistent with the neotraditional urban form proposed for this Specific Plan. Mixed-Use provides a higher-density development, offering a variety of commercial and residential uses together in a single development. Mixed-Use development is conducive to the small town, pedestrian oriented, village center and community gathering design elements proposed in this plan.

#### ■ Conceptual Master Plan

A Conceptual Master Plan and 3D mass study has been created for the Mixed-Use Village Center. This conceptual plan consist of a site design which includes concepts for building, parking and open space orientation and access. While the concept plan provided in this document is not required for the mixed-use site development, it incorporates specific required development standards and design guidelines identified in the mixed-use section of this plan. Reference to and reflection of the key site and architectural design concepts is necessary for the successful design of the mixed-use Village Center and Village Square (see Figure 3-6 and Figure 3-7).

#### A. Mixed-Use Design Guidelines

The mixed-use zone in the Village Center is envisioned as a combination of single buildings and building groups outlining either a large single plaza or a series of smaller plazas and/or courtyards with the Village Square beyond as a focal point. The ambiance of the Village Center shall be open air, inviting, pedestrian scale, and specialty. The commercial front of the Village Center will be developed with specialty and service retail uses on the ground floor and office and/or residential uses on the second floor. A third level is proposed as an option, where only residential uses may occur.



The most desirable design will utilize combinations of construction materials and accent features such as brick, stucco, wood, or stone. Heights around the main plaza will vary from 1 to 3 stories and façades will be modulated to create the desired “village” environment. Use of the recommended traditional Spanish architectural styles (Spanish Colonial Revival, and Mission) will build upon this ambiance and allow architectural variety. A prominence of standard commercially designed single standing, single story buildings with associated parking areas is not part of the design objective.



The mixed use development and design of the Village Center will complement the residential development in the rest of the Specific Plan area. Visually and physically, where the two planning areas abut, there shall be a smooth transition so as not to detract from the neotraditional design. This smooth transition is accomplished through the continuation of the Early California architectural styles, the use of consistent landscape and hardscape materials, the incorporation of all of these elements into the design of the Village Square, the traffic calming roundabout, the pedestrian oriented street design and the street intersection corner landscape open space design. The Village Square is designed as the focal point of this transition between residential, commercial, pedestrian and vehicular activity.

The following Design Guidelines for the mixed-use development zone supersede any other relevant guidelines set out in the City of Camarillo’s Zoning Code and are intended to highlight and expand on the key design elements and architectural style for the Village Center. There is a possibility that specific required elements of an architectural style could contradict the guidelines. If such a conflict were to occur, the requirement for the specific architectural style shall govern (see Section 3.2.3 for architectural style requirements).

#### SITE DESIGN, BUILDING MASS

##### Building Access, Setbacks & Coverage

- Buildings should be aligned along the street, plaza, or any other active public spaces.
- Plazas, courtyards, and other public spaces are encouraged.
- Active frontages with main entrances and windows should face the street and sidewalk, reinforcing continuous public street spaces.
- Main entrances should be prominent and easily accessible.
- Each main entrance should have an architectural definition, such as an awning, recessed niche, three-dimensional feature, or building projection.
- Public rear entrances should be easily located, but not more prominent or larger than front main entrances.
- A defined front door access for the residential component is required.
- Buildings should maintain a zero setback, except in those cases where an activated open arcade public use is possible, such as a plaza, café seating area or similar design feature.
- Hardscape is required from the sidewalk to the building wall on every setback area.
- Landscape buffer is required between the street and front façades (see Section 3.2.14, Figure 3-15 and Figure 3-16).





Building Form/Mass

- Front façades for Mixed Use Buildings should be designed to create an individual identity to each vertical module or unit. Long horizontal fronts should be sub-divided into shorter segments. This can be done through the following techniques:
  - a) Changes in roof form/heights
  - b) Changes in setback depth (where arcade occurs on podium level and terrace on second)
  - c) Alternate use of balconies on upper levels
  - d) Changes in window/façade composition
  - e) Changes in Wall material/color
- Corner buildings should be designed to include a prominent architectural feature at the corner, like a building's main entrance at podium level, framed by a corner tower and compatible with the general architectural style.
- All building corners facing the street or any active public space shall be designed to provide active public uses at podium level such as plazas, café seating or similar.
- Retail tenant spaces should be designed for local/smaller businesses with the exception of a total of one larger tenant/anchor store.



Roof Variations

- To subdivide the mass of large or attached buildings, use individual roofs to “break up” the form. A single building could be roofed by several separate gables, or by a single roof gable with a series of smaller gabled dormers. Recommended roof forms include:
  - a) Parapet roof (a four walls, with consistent detailing)
  - b) Hip or gabled roof
  - c) 4:12 to 6:12 pitch
- Eaves should be detailed with overhangs and exposed rafter tails, or with a profiled cornice, consistent with the architecture style in use. Gutters should be half round or ogee, (s-shaped/talon) and downspouts should be round.
- Visible pitched roofs should be treated with high quality roofing material appropriate to the architectural style in use.
- All mechanical and electrical equipment including but not limited to air conditioning units, solar panels and antennas (whether roof-mounted, ground-mounted or otherwise), should be completely screened from view.





- LEGEND
- Village Center (Commercial/Retail)
  - Mixed Use (Retail on 1st level, upper level Housing and/or Office)
  - Lanscaped Open Space



Southeast View



Southeast View

FIGURE 3-6 CONCEPTUAL VILLAGE SQUARE AND VILLAGE CENTER MASTER PLAN LAYOUT

| SOURCE | EIP Associates, a Division of PBS&J, 2008.



Buildings aligned along pedestrian streets

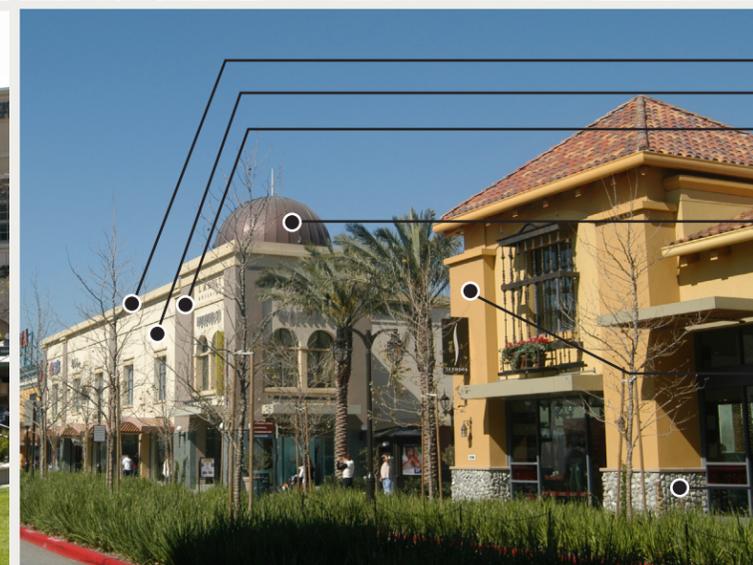
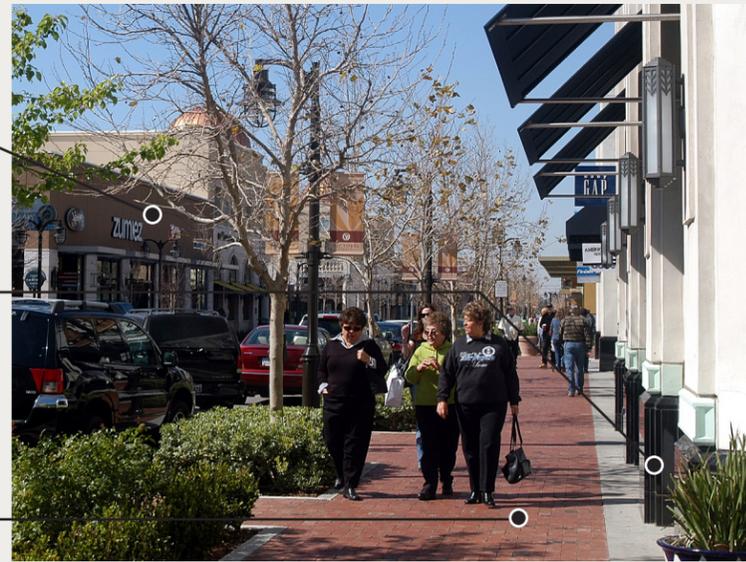
Base treatment

Terracotta brick pavement

Roof variation

Decorative round window

Shade devices in contrasting colors



"S"-shaped tile roof

Primary color

Stone arched openings

Accent color

Pedestrian open plaza

Flat roof with cornice

Primary color

Accent color

Tower on corner with accent dome

Smooth finish stucco

Accent materials on base treatment



Mixed use along sidewalks

Building mass variation

Open space

Facade variation

Outdoor seating

FIGURE 3-7 DETAIL FACADE ELEMENTS, COLORS, AND MATERIALS

| SOURCE | EIP Associates, a Division of PBS&J, 2008.



### Open Space

- All open space paving should be consistent with the allowed exterior pavement of the chosen architectural style.
- Private Open space in the form of balconies, internal courtyards, and other plazas helps shape, modulate, and give variation to building mass.
- For Common Open Space Landscape Standards and Guidelines in the Village Square area (see Section 3.2.8).

### Parking & Vehicular Access

- No visible surface parking is allowed.
- Above grade parking structures should be consistent or visually articulated with one of the architectural styles recommended.
- Access to street level parking or parking structures must not be adjacent to primary building entrance or public outdoor gathering areas.
- Parking access/driveways should be designed and signaled in a manner similar to the remainder of the adjacent buildings.
- Trash receptacles, electrical transformers, and other service elements should be located in areas where parking is permitted and should be screened from public view by walls with matching architectural elements as those of the buildings they serve.
- Service and loading facilities must be screened from view from public streets, open spaces, and other sensitive uses.

## FAÇADE COMPOSITION

### Overall Façade Treatment

- Buildings should maintain architectural articulation and visual quality on all sides.
- Large projects should be broken into a series of moderately scaled buildings ranging in width from 20 to 40 feet, or be designed as one with a sequence of façade modulations, 20 to 40 feet in width, such that the building appears as multiple buildings.
- Breaks in façades should be limited to those necessary to accommodate pedestrian access and permitted vehicular access to parking driveways and drop-offs.
- Façades should include a base treatment that establishes a human scale for pedestrians.

- Design components of base features should include one or more of the following:

- a) A thicker base portion of the ground floor
- b) A material or color change
- c) A cornice line



### Walls and Windows

- A mixture of order and variety in window and door opening composition is recommended, with unifying elements.
- Pilasters, cornices, or other surface treatments should be added to define or diminish scale.
- Shaped window frames and sills should be used and should be proportional to the size of the framed window.
- Building walls should be detailed as thick walls with recessed windows.
- Windows should be large-paned or vertical multi-paned on ground floor and vertical, single, or grouped on upper stories.
- Window shapes may vary on prominent façades according to the architectural style (arc, curved shapes).

### WALL SURFACE MATERIALS

- Greater attention should be given to first-story building materials and design elements, in that they are physically and visually more accessible than second-story elements.
- Materials should unify building appearance; however, allowance for individual expression is a consideration.



Details

- Recessed arched doorways, arcades, base treatments, tower elements or applied architectural accents at key entries and windows.
- Windows and doors should be of high quality.
- Aluminum or wood frames with divided lights are recommended.
- Shade devices on façades such as awnings and canopies should not project more than 4 feet from the face of the façade and should be at least 8 feet above the sidewalk on the ground level.
- Balcony design should be consistent with the architectural style. Iron balconies and/or recessed balconies with flat or round arch openings and solid balustrades covered with cement plaster are recommended.

Color

- Natural light beiges, tan, ivory, or off white colors should be used as primary base color with the addition of darker/brighter color for accent details, shading devices, and key design elements.

**B. Mixed-Use Development Standards**

Development standards for mixed-use development represent a unique set of standards which combine principles typical of both commercial and multi-family residential development within the City of Camarillo Zoning Ordinance. The following mixed-use Development Standards for this Specific Plan supersede other standards set out in the City’s Zoning Code and are consistent with the recommended architectural styles.

SITE DESIGN, BUILDING MASS

Building Access, Setbacks & Coverage

- 10-foot maximum podium level front set back, if used for public seating space and configured as a plaza or arcade.
- Building height shall be a maximum of three stories, or 40 feet for accent features like towers or roof height variations.
- Second- and third-level vertical setbacks shall be a minimum of 5 feet to provide façade variation where terraces occur.

- 15-foot minimum podium level rear setback where adjacent to buildings which include residential uses; 6-foot rear setback where adjacent to commercial uses; 6-foot setback where adjacent to rear driveways, parking lots or parking structures.
- Side setbacks are not allowed, except for a minimum of 10 feet when adjacent to buildings which include residential uses.
- The Mixed-Use development shall include a single large commercial/anchor space with an allowed maximum area of 35,000 sq. ft.

Building Form/Mass

- Buildings with first floor façades longer than 40 horizontal feet shall be divided into shorter segments.
- Individual storefronts shall be a minimum of 20 feet and a maximum of 40 horizontal feet in length; larger storefronts shall be divided so that an implied storefront change occurs every 40 feet.
- Second- and third-floor façades shall not extend greater than 45 lineal feet without some manner of articulation/variation.



Roof

- Roofs shall not be taller than 35 feet in height at the highest point unless a Conditional Use Permit is approved as stipulated in the Zoning Code.
- Standards for roof shapes must be consistent with the recommended architectural styles for mixed use development (see Section 3.2.3)

Open Space

- A total of 20 percent of the building area must be private open space. Balcony and terrace space must be distributed evenly throughout the building.

- Side yards and rear yards at podium level do not count toward the total open space requirement.
- In order to achieve sunlight in private open courtyards: 1 to 1 ratio (width to height); 2 to 1 ratio if open to one side.
- All open space paving should be consistent with the allowed exterior pavement of the chosen architectural style.

---

Parking & Vehicular Access

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- Parking shall be provided for permitted uses in accordance with the provisions of the Zoning Code.
- Driveways, underground parking access and loading facilities shall be located a minimum of 40 feet away from any primary building entrance or public outdoor gathering area.
- Large surface parking lots shall be designed as multiple smaller lots with 50 parking spaces or less using landscape islands or pedestrian paths to segment and break down the space (see Figure 3-8).
- Parking facilities (surface or structures) shall be located below grade or behind buildings, and completely screened from the main street (Springville Promenade) and all active public areas, except for street frontage devoted to vehicular access, drop off, or valet parking (see Figure 3-8).
- Parking facilities (surface or above grade structures) shall be setback at least 10 feet from any building structures (see Figure 3-9).
- Surface parking lots adjacent to any secondary street or non active public space (i.e., adjacent to Ponderosa Street) should be screened from the frontage by a 6-foot landscape setback buffer including a low wall (see Figure 3-9) meeting the requirements of a screening wall (see Section 3.2.11).
- Above grade parking structures adjacent to any secondary street or non active public space shall be screened from the frontage by a 10-foot landscaped setback buffer.
- Above grade parking structures adjacent to any building structure shall be setback at least 15 feet from the building structure.
- Nonresidential parking standards remain consistent with the zoning ordinance, however a shared parking agreement may be developed between the commercial and residential guest parking requirements.

- Residential Parking Guidelines:
  - a) 1 Parking space per unit for 0–1 BR
  - b) 2 Parking spaces per unit for 2+ BR
  - c) 1 Guest parking space required for each five residential units in a convenient and accessible location
- On-street parking shall be provided in accordance with the Circulation and Landscape Standards of this Specific Plan. These areas are to be clear of the necessary lane(s) for the adjacent street and shall be counted toward satisfying no more than 25 percent of the required parking as set forth in the Zoning Code.
- Drive-through establishments are not allowed.
- Loading shall only be allowed during daytime hours between 7:00 A.M. and 7:00 P.M.

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FAÇADE COMPOSITION

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Overall Façade Treatment

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- Variation in materials or color at the base of the building is recommended to break up wall mass. Such treatment shall not extend higher than 6 feet from the ground.
- At least 50 percent of podium level façade frontages shall include some base treatment for every retail/commercial space.
- Every façade front ranging from 20 to 40 feet in width shall have at least one modulation, setback, or façade variation feature.

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Walls and Windows

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- Storefront or display windows at podium level shall encompass a minimum of 40 percent and a maximum of 70 percent of the buildings podium level façade.
- Upper story window to wall ratio shall be lower than 40 percent (40 percent or less of the upper levels façade surface can be window openings).

---

Wall Surface Materials

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- The palette of wall façade materials should be a maximum of three (one primary material and a maximum of two accent materials):
  - a) *One material is used as the primary base surface material*
  - b) *The second for accent features like stone or brick covered arcades*



FIGURE 3-8 PARKING STRUCTURE/SURFACE PARKING DESIGN-  
| SOURCE | EIP Associates, a Division of PBS&J, 2007.

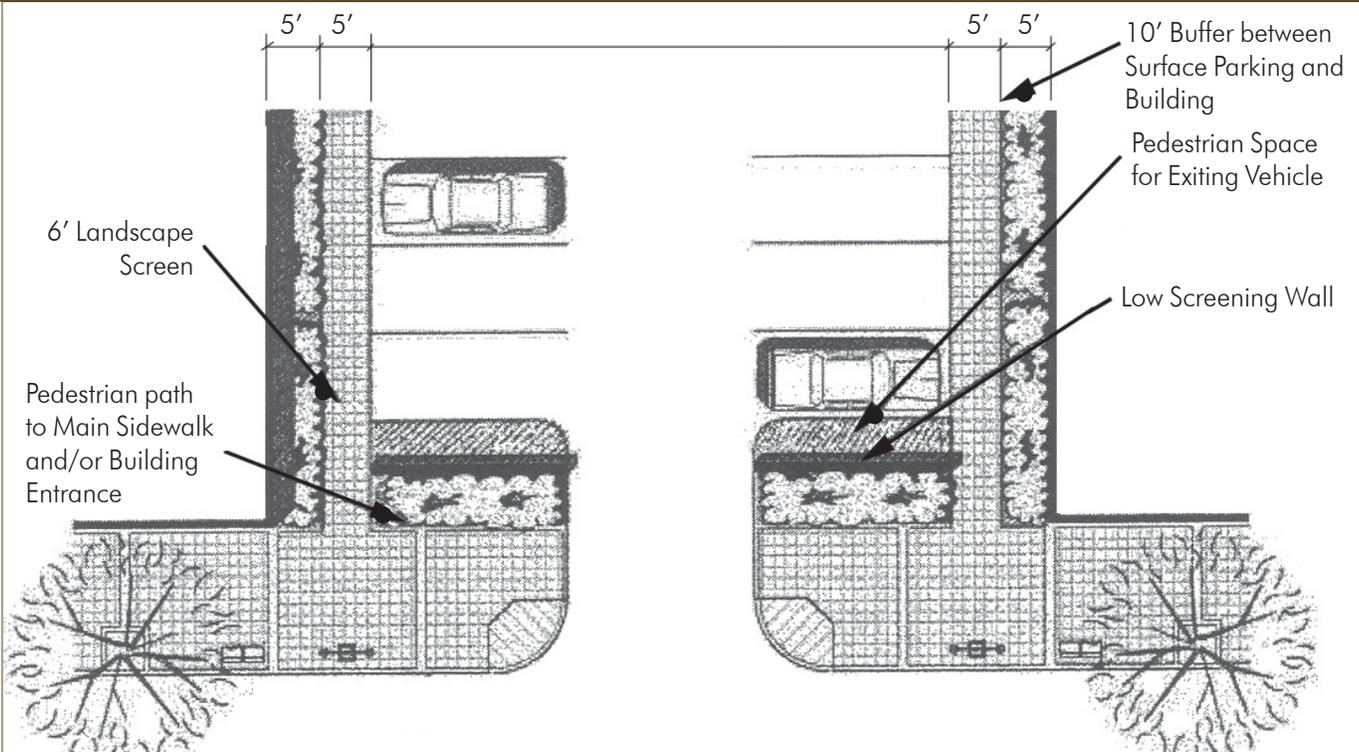


FIGURE 3-9 SURFACE PARKING SCREENING

c) The second accent material (if used) can only be decorative ceramic tile when applied to architectural features like tower domes, balconies, or entrance accents

- Primary Base allowed materials (see Section 3.2.4):
  - a) Stucco, cement plaster, or stucco type finishes are acceptable
  - b) Stucco shall have a smooth finish, such as smooth trowel or fine sand float finish, (rough texture finishes are not allowed)
- Accent feature allowed materials (see Section 3.2.4):
  - a) Ceramic tile for decorative accents
  - b) Stone and stone veneer
  - c) Brick

Details

- Standards for details vary and shall be consistent with the recommended architectural styles for mixed use development.

Color

- Standards for color use must be consistent with the recommended architectural styles for mixed use development.
- Two colors shall be used on façades: a base primary color (Natural light beiges, tan, ivory, or off white) and an accent color which can be darker or brighter and shall be used for small façade detail elements only.
- The primary color may change to any natural light beige, tan, ivory or off white from one 20- to 60-foot façade segment to another but the accent façade detail color shall remain consistent in order to give uniformity to the entire building mass.
- A third color may be used as an accent color only when applied to shading devices like awnings. The awning color shall be consistent through the entire Village Center area.



### 3.2.5 RESIDENTIAL DEVELOPMENT

Residential uses include a range of densities. This density range is from Low-Medium (maximum 10 dwelling units per acre), to Medium (maximum 18 dwelling units per acre) to High density (maximum 30 dwelling units per acre) residential development. In accordance with the City of Camarillo General Plan Land Use Element, a minimum of 20 percent of the residential development in the Springville Specific Plan shall be lower income housing.

The basic neighborhood design for any particular density designation is to have a range of development densities within each designated neighborhood. The higher densities will be designed as clustered neighborhoods, with parking and auto access from an interior parking courtyard, which is accessed off of secondary streets. This design reduces the number of curb cuts and auto activity on the main streets thereby improving auto circulation and maintaining pedestrian friendly activity. These higher density clusters will be located along the main circulation artery, on lots that back up to the Ventura Freeway and across from the mixed-use Village Center. Less dense residential development will be oriented away from the commercial and automobile activity. This type of clustered neighborhood design with access and orientation to the street and Village Center is consistent with the neotraditional urban form proposed for this Specific Plan (Land Use plan in Section 2.2, Figure 2-1).

Development standards per the City of Camarillo Zoning Ordinance for the Single-Family Residential and Planned Residential Development (RPD) zones apply to residential uses except that where the Design Guidelines or Development Standards of this Specific Plan address architecture or other design elements, the requirements and recommendations of this Specific Plan will take precedence. To provide additional design direction within the Specific Plan area, Design Guidelines and Development Standards for residential uses are provided below.

#### A. General Design Guidelines for Residential Uses

The following Guidelines apply to all residential development within the Springville Specific Plan area. Also, refer, further to the particular land use category (e.g., High, Medium, or Low-Medium, Section 3.2.5) and architectural styles (Section 3.2.3) for further guidelines.

##### Site Planning

1. *The orientation of the buildings to the adjacent sidewalk in the circulation system is a fundamental objective of this Specific Plan and, while it may be obvious for single-family development, it is often overlooked for multi-family development.*



*In the multi-family residential areas, one of the prevalent features shall be a generous and attractive pedestrian-oriented, circulation system.*

2. *The street configuration is designed to maintain the majority of automobile traffic on the main circulation arteries and limit the volume of auto traffic on the secondary streets.*
3. *Neighborhood design along the main travel arteries should be clustered with interior parking courtyards which access off of secondary streets, thus limiting the number and frequency of curb cuts along the main street.*
4. *Residential development (except for Low-Medium Density units) shall be designed so that the garage areas are not visible from the front street.*
5. *Garages on Low-Medium Density units may be visible from the front street but shall not dominate front façades.*
6. *The primary pedestrian entry shall be oriented to the adjacent street and the entry façade shall be built on the required setback lines.*



7. Parking shall be provided for permitted uses in accordance with the provisions of the Zoning Code.
8. The number and size of parking spaces shall be as required by the Zoning Code. Required parking for residences shall be located and designed in conformance with the Development Standards and the Design Guidelines.
9. Corner lots shall make use of the side streets for garage access whenever possible.
10. Multi-family development adjacent to the Ventura Freeway shall be designed to provide additional sound buffering with the shortest two-story buildings (or two story building segments) located closest to the sound berm along the freeway (see Section 3.2.10, Figure 3-12), steeping up to taller (three-story) building mass located farther from the freeway.

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### Architectural Details

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These Guidelines define a range of materials, elements and details that are required for residential units and site improvements within the Specific Plan area and apply to all architectural styles recommended for residential land uses (see Section 3.2.3 for recommended architectural styles).

Not all of the materials, elements, and details listed in the General Guidelines sections are consistent with each of the described Architectural Styles. Upon selection of a style, the available range of such choices is narrowed to ensure the proper execution of the essential qualities of the selected style. In a few cases, the specific requirements for a style may contradict a General Guideline. In the case of such a conflict, the requirement for the specific Style shall govern.

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### Roofs and Massing

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- Guidelines for building massing should be in accordance with density ranges. Three-story masses for the high density residential, two and three-story for the Medium, and two-story for Low-Medium, to be accompanied by lower roof elements, unless specifically stated to the contrary for a particular architectural style.
- Façades should be no less than 15 feet in height.
- Building roofs should be gabled or hipped with a minimum slope of 3:12. The maximum slope should be consistent with the chosen architectural style and roof height should not exceed 40 feet.



- Porch roofs should have a minimum pitch of 3:12, unless specifically stated to the contrary for a particular style.
- Overhanging eaves should be finished with exposed rafter tails or a cornice, in accordance with the requirements for the selected architectural style. The minimum nominal dimension of exposed rafter tails should be 3 inches.
- Skylights should be flat (non-bubble) only.
- Rakes at gable ends should be terminated with 2x fascia or tile wrapped over such a fascia.
- Gutters should be painted galvanized steel, copper, or painted aluminum. Allowed gutter shapes are half round and ogee.
- Roofing materials should be clay barrel tile, wood shakes, wood shingles, slate, or concrete or approved, high-quality composite materials faithfully simulating these natural materials. The roofing material for each house or building should be consistent with the selected architectural style, as specified in the architectural styles (Section 3.2.3) of these Guidelines.

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### Doors and Windows

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- Doors and windows should be made of wood, vinyl-clad wood, vinyl or metal.
- Window openings should be vertical in proportion or may be square.
- Window glass should be clear glass with not more than 10 percent daylight reduction (tinting), and should not be reflective (mirrored).
- Windows may have the following accessories: shutters sized to match the openings, opaque canvas awnings appropriate to the architectural style and planter boxes supported by visible and decorative brackets.



- Windows and doors may be trimmed in painted wood, brick, stone, or cast stone.
- Feature windows (arch, segment, circular, oval) may be provided—no more than one per façade is recommended.
- Windows should be single-hung, double-hung, hinged casement, or slider with approval
- Windows on main façades should be consistent with the selected architectural style.
- Façades adjacent to or visible from the street should be fenestrated with windows and doors, including a principal entry to the building. The openings should be of vertical proportions, or square.

Walls and Fences

- Building walls should be made of or finished in smooth or sand finish stucco, painted wood siding, brick, stone, or approved composite materials faithfully simulating these natural materials appropriate to the architectural style.
- Garden walls should be made of clad with stucco, brick, stone, or block materials faithfully simulating these natural materials. Garden wall materials and colors should be consistent with the selected architectural style and with the main structure.
- Walls may be trimmed with painted wood, brick, stone, or approved cast stone.
- Frontage fences may be made of painted or stained wood. Frontage fences should be a maximum of 36 inches in height.



- Painted wood picket fences, and stained or painted rail fences, are allowed at the frontages of lots in the Low and Low-Medium Residential Areas as long as they match the architectural style of the main structure.
- Side yard fencing on corner lots should match the fence design of the front yard and be located within 2 feet of the property line.
- Rear yard walls and interior side yard walls should be made of sacked slump block masonry, plastered concrete block masonry, or fine masonry of any type. Such walls should be no more than 6 feet in height.
- On the ends of blocks, where side yards front the street, the corresponding façade should respond to the side or rear yard in an inviting, pedestrian-scaled manner (e.g., secondary entry to house, windows taking advantage of streetscape view, etc.) and no more than 50 percent of the side yard should be enclosed by walls.
- Gates in wood fences should be made of matching wood. Gates in masonry walls may be made of wood, wrought iron, or tubular steel faithfully simulating wrought iron and keeping with the architectural style of the main structure.

Mechanical and Electrical Equipment

- All mechanical and electrical equipment—including but not limited to air-conditioning units and antennas—whether roof-mounted, ground-mounted, or otherwise, should be completely screened from view with construction materials and a design that is consistent with the architectural style of the main structure.

Colors

- Roofs and Materials: Natural materials or composite materials faithfully replicating the color and texture of the natural material, appropriate to the architecture style of the main structure (Section 3.2.3).
- Walls: Natural materials or composite materials faithfully replicating the color and texture of the natural material, appropriate to the architectural style of the main structure (refer to the architectural style for wall treatment, Section 3.2.3).
- Accents: Traditional and historically correct colors to complement the selected architectural style (Section 3.2.3).

## Architectural Style

Four architectural styles have been selected for the neotraditional design guidelines in the residential areas of the Plan. It is intended that houses within the residential community adhere to a coherent set of design features of one of these styles. The four styles have been selected to allow a wide range of variation in materials and in architectural design. Through the use of these styles, and careful attention to authentic detailing, the intended high quality residential character of the community will be achieved. It is not intended, however, that these styles be merged with one another.

For single family residential neighborhoods, lots shall incorporate a minimum of four different building plans and elevations reflecting the recommended architectural styles. No footprint and elevation should be located adjacent to or directly across the street from the same footprint or elevation, to ensure a diverse design character for the neighborhood.

### Recommended Architectural Styles for the Residential Planning Areas (Section 3.2.3)

- Spanish Colonial Revival; recommended for the High Density Residential Land Uses.
- Mission Style; recommended for the High Density Residential Land Uses.
- Monterey Style; recommended for the Low-Medium, Medium, and High Density Residential Land Uses.
- Craftsman Style; recommended for the Low-Medium and Medium Residential Land Uses.
  
- High Density Residential (including Senior Housing)

High Density residential uses will adhere to the development standards per the City of Camarillo Zoning Ordinance for the Residential Planned Development (RPD 30U) zone as



appropriate. If there is a case where the RPD standards and the high-density residential standards for this specific Plan conflict, then the standards of this Specific Plan will take precedence. The neotraditional urban form chosen for this Specific Plan meets the intent of the RPD planning techniques. To provide additional design direction within the Specific Plan area, additional design guidelines and development standards for high density residential uses are provided.

### A. High Density Residential Design Guidelines

This residential category provides for residential development types up to 30 units per acre (see Section 2.2, Figure 2-2, for max units allowed per parcel) in the form of three-story apartment and/or condominium buildings. These buildings are to be designed in a manner that orients the main façades to the adjacent street to take advantage of the associated pedestrian oriented circulation system. Clustered designs are encouraged throughout the residential neighborhoods. Private outdoor space in the form of balconies, patios, and porches is expected. Parking and access drives are to be located behind buildings and configured into “parking courts.” Buildings should have definitive entries and should function to reduce the physical scale of the buildings through the use of pedestrian scale design elements.





The majority of the higher density development is located adjacent to the Village Center commercial area and along the sound berm adjacent to the Ventura Freeway. Pedestrian and bike access will be an integral part of the site design. The pedestrian-oriented circulation system can be used as a secondary “recreation” area providing residents with an enjoyable route to walk, jog, bike, etc.

**Summary**

- Typically three story massing with vertical and horizontal articulation (towers or other vertical elements on corners for greater architectural emphasis)
- Buildings orient to the street
- Minimal front yard setbacks
- Cluster design
- Interior parking courts
- Pedestrian or bike access to the Village Center
- Rental or ownership units

**B. High Density Residential Development Standards**

In accordance with the neotraditional urban form intended for this Specific Plan of development, site planning techniques which promote pedestrian circulation and amenities and a sense of community shall be utilized. The following standards are recommended.

1. Building height shall be a maximum of three stories, or 40 feet for accent features like towers or roof height variations in accordance with RPD standards.
2. A minimum of 20 percent of all High Density Residential units shall be developed as affordable housing.
3. Lot size shall be per the approved specific plan.
4. Front yard setbacks along the circulation arteries shall be 15 feet. On corner lots the front setback applies to both façades facing a circulation artery (see Figure 3-10).

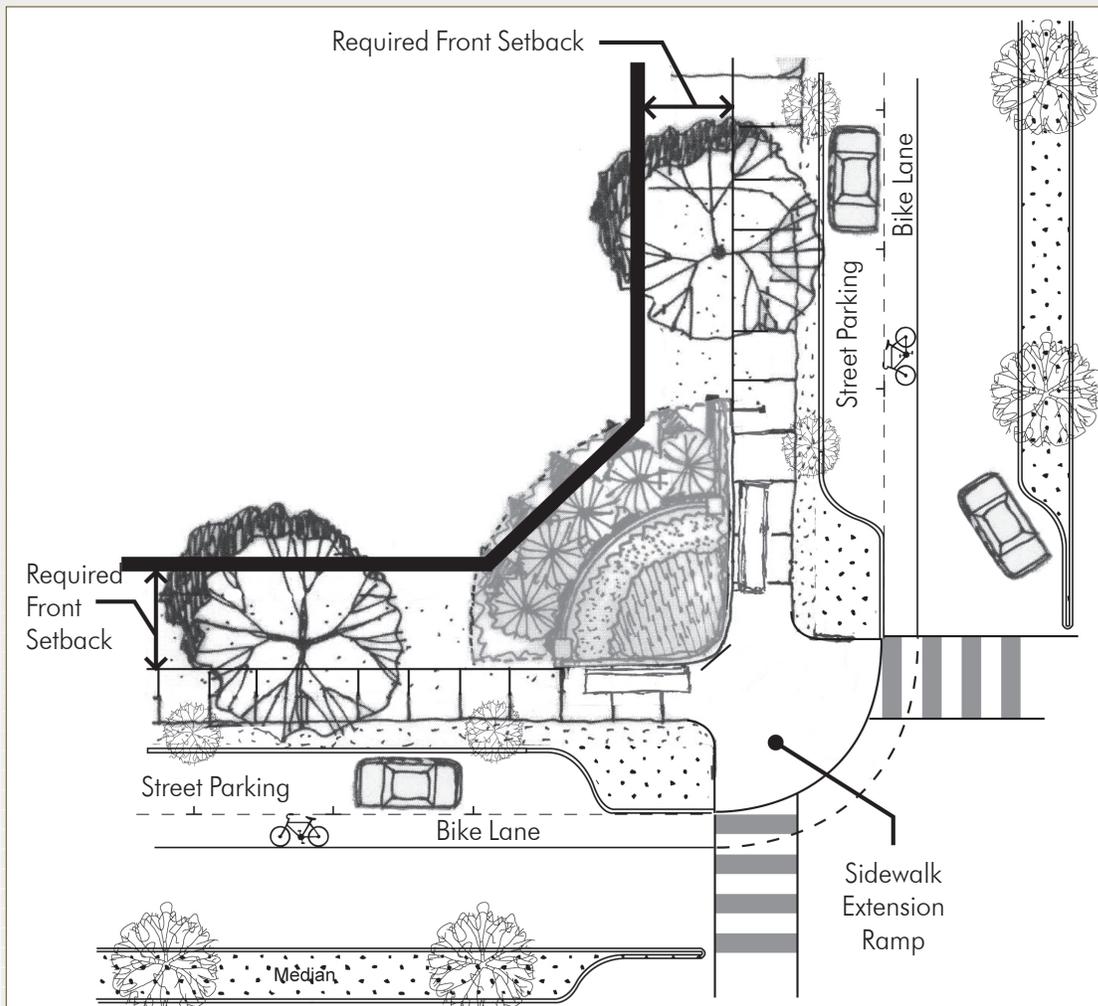


FIGURE 3-10 CORNER PROPERTY SETBACK

5. All building corner areas facing the street or any active public space shall be designed to provide additional landscape and hardscape elements such as benches and/or water features.
6. Side and rear setbacks shall be a minimum of 5 feet.
7. Parking areas shall not be located between the building and the adjacent primary Boulevard, Avenue or Street and shall be configured as "parking courts" designed in the interior of the residential development with access taken off of secondary streets. Any parking areas visible from a street frontage shall be screened from view by a low wall (see Figure 3-9), (meeting the requirements of a screening wall, per Section 3.2.11), or by a continuous or undulating landscaped berm.
8. The following minimum parking requirements apply for High Density Residential units:

Studio:	1.5
1 Bedroom:	1.5
2 Bedroom:	2.0
3 Bedroom:	2.5
Other:	1.0 RV parking space per 5 units minimum
Guest:	1.0 parking space per 2 units minimum

*Of the above spaces required, only 50 percent of the guest parking spaces are allowed as "on-street" parking. Parking requirements for Senior Housing units will be reduced per City of Camarillo's Zoning Ordinance.*



9. Trash receptacles, electrical transformers, and other service elements shall be located in areas where parking is permitted and shall be screened from public view by walls matching the architectural style and materials of the main structures.

10. All mechanical and electrical equipment, including but not limited to air-conditioning units, solar panels, and antennas—whether roof-mounted, ground-mounted, or otherwise—shall be completely screened from view.

■ Medium Density Residential

Medium Density residential uses include components of the specific plan area that occur within the Residential Planned Development (RPD 18U) zone. Development standards per the City of Camarillo Zoning Ordinance for the Residential Planned Development zone apply to medium density residential uses as appropriate. The intent of the neotraditional urban form chosen for this Specific Plan is



consistent with the intent of the RPD zone, which is to provide residential uses that take advantage of modern site planning techniques. To provide additional design direction within the Specific Plan area, additional design guidelines and development standards for medium density residential uses are provided.

**A. Medium Density Residential Design Guidelines**

This residential category provides for residential development up to 18 units per acre (see Figure 2-2 for max units allowed per parcel) in the form of two and three story apartment and/or condominium buildings, courtyard housing or townhouses. This density provides a moderate transition from the high density development. Buildings are to be designed in a manner that orients the main façades to the adjacent street and takes advantage of the associated circulation system. Clustered design is encouraged. Minimal front yard setbacks will be used along main circulation arteries. Private outdoor space in the form of balconies, patios, and porches is required. Buildings should have definitive entries and should function to reduce the physical scale of the buildings through the use of pedestrian scale design elements.



In addition, all medium density residential buildings along the south section of the planning area should be designed to be oriented along the Springville Promenade or primary collector when possible (see Section 3.2.14, Figure 3-13), with building heights stepping down to two stories as development proceeds closer to the sound berm along the Ventura Freeway (see “sound berm,” Section 3.2.10, Figure 3-12). This stepped height building method will help buffer automobile noise from the freeway to the Specific Plan Area.

This development type will contribute positively to the nearby Village Center and pedestrian or bike access will be an integral part of the site design. The adjacent pedestrian-oriented circulation system can be used as a secondary “recreation” area as it relates to providing residents with an enjoyable route to walk, jog, bike, etc.

**Summary**

- Typically two-story (maximum three) massing with vertical and horizontal breaks (maximum every 45 feet)
- Buildings orient to the street
- Pedestrian or bike access to Village Center
- Minimal front yard setbacks on main circulation arteries
- Parking behind buildings in “parking courts” off of private drives
- Rental or ownership units

**B. Medium Density Residential Development Standards**

In accordance with the neo traditional urban form intended for this Specific Plan of development, site planning techniques which promote pedestrian circulation and amenities and a sense of community shall be utilized. The following standards are recommended.

1. Two-story typical building height (25 feet) but up to three stories or 40 feet may be allowed for accent features or as needed to reach allowed densities within this land use category in accordance with RPD standards.
2. Lot sizes shall be per the approved specific plan.
3. Front yard setbacks along circulation arteries shall be 20 feet. On corner lots the front setback applies to both façades facing a circulation artery (see Figure 3-11).
4. Side and rear setbacks shall be a minimum of 5 feet.



5. *Parking areas shall not be located between the building and the adjacent boulevard, avenue, or street and shall be configured as “parking courts.” Any parking areas visible from a street frontage shall be screened from view by a low wall (see Figure 3-10), (meeting the requirements of a screening wall, per Section 3.2.11), or by a continuous or undulating landscaped berm.*
6. *The following minimum parking requirements apply:*

Condo/Town home:	2.0 car garage per unit
Other:	1.0 RV parking space per 5 units
Guest:	1.0 parking space per 2 units

*Of the above spaces required, only guest and handicap parking spaces are allowed as “on-street” parking.*

7. *Trash receptacles, electrical transformers, and other service elements shall be located in areas where parking is permitted and shall be screened from public view by walls matching the architectural style and materials of the main structure.*
8. *All mechanical and electrical equipment—including but not limited to air-conditioning units, solar panels, and antennas—whether roof-mounted, ground-mounted, or otherwise, shall be completely screened from view.*

## ■ Low-Medium Density Residential

Low-Medium Density residential uses include components of the specific plan area that occur within the Residential Planned Development (RPD 10U) zone. Development standards per the City of Camarillo Zoning Ordinance for the Residential Planned Development zone apply to low-medium density residential uses as appropriate. The intent of the neotraditional urban form chosen for this Specific Plan is consistent with the intent of the RPD zone, which is to provide residential uses that take advantage of modern site planning techniques. To provide additional design direction within the Specific Plan area, additional design guidelines and development standards for low-medium density residential uses are provided.

### A. Low-Medium Density Residential Design Guidelines

This residential category provides for residential development up to 10 units per acre (see **Figure 2-2** for max units allowed per parcel) in the form of one and two-story courtyard housing (apartments or condominiums), townhouses or detached, two-story single-family houses. This density provides a moderate transition from the medium density development. Buildings are to be designed in a manner that orients the main façades to the adjacent street and takes advantage of the associated circulation system. Minimal front yard setbacks





will be used along main circulation arteries. Private outdoor space in the form of balconies, patios, and porches is required. Buildings should have definitive entries and should function to reduce the physical scale of the buildings through the use of pedestrian scale design elements.

**Summary**

- One- to two-story massing with vertical and horizontal breaks (maximum every 45 feet)
- Pedestrian or bike access to Village Center
- Buildings orient to the street
- Minimal front yard setbacks on main circulation arteries
- Cluster development
- Parking courtyards
- Detached or attached housing
- Individual lots or common/condo ownership



**B. Low-Medium Density Residential Development Standards**

In accordance with the neotraditional urban form intended for this Specific Plan of development, site planning techniques which promote pedestrian circulation and amenities and a sense of community shall be utilized. The following standards are recommended.

1. *Two-story maximum building height, or 25 feet, in accordance with RPD standards. Exceptions to this height limit may be considered on a case-by-case basis where the architectural style would benefit from an increased height such as an elevated roof element.*

2. *A minimum of four variations of floor plans and four distinct exterior elevations shall be required.*
3. *Lot sizes shall be per the approved specific plan.*
4. *Front yard setbacks shall be 20 feet. Units on corner lots shall include a 20 feet setback along corner facades that include garages and 10 feet setback along corner facades with no garage areas.*
5. *Side and rear setbacks shall be a minimum of 5 feet.*
6. *Parking garages shall not dominate main facades. This can be accomplished by having recessed garages or locating garages on side elevations.*
7. *The following minimum parking requirements apply:*

Town homes/attached units:

Condo: 2.0 car garage per unit

Guest: 2.0 parking space per 5 units

Other: 1.0 RV parking space per 5 units

*Of the above spaces required, only 50 percent of the guest parking spaces are allowed as "on-street" parking.*

8. *Trash receptacles, electrical transformers, and other service elements shall be located in areas where parking is permitted and shall be screened from public view by walls matching those of the buildings.*
9. *A minimum of two fully enclosed garage spaces are required for each detached unit.*
10. *For detached units only, a third garage space may be provided if it is in tandem with one of the two required spaces, or if it is accessed by a one-car garage door placed perpendicular to the frontage, or if all garage doors are at least 40 feet from the frontage line, or if facing a private drive or alley.*

### 3.2.6 INSTITUTIONAL/SEMI-PUBLIC (OR OFFICE) DEVELOPMENT

The institutional/semi-public or office component of the Specific Plan is intended to preserve the character of the site, including a portion of the existing farmland, while integrating compatible architecture to be used for institutional, semi-public, or office land uses. This three-acre parcel will have a medium built scale, with building heights no greater than three stories, and transition naturally from the residential development to the west and to the mixed use Village center to the east. The design of new buildings will utilize construction materials and styles to complement the existing structures, and be compatible with the adjacent Village Square and the historic theme of this area.

In addition, it is important to preserve the agricultural character of the site by incorporating natural landscaping treatments in the design of pedestrian paths and open areas, and minimize the use of hardscape and other accent features that detract from the simplicity of the agricultural ambiance. In order to preserve view corridors, it is recommended that a buffer zone be created as a visual screen between any existing structures which may be preserved and new development. This will help preserve the historic integrity and openness of the site. Visitors should be able to appreciate the rustic, open feel of the area and enjoy a glimpse into Camarillo's agricultural past.

#### A. Institutional/Semi-Public (or office) Design Guidelines and Standards

The following guidelines shall be considered when designing the Institutional/Semi Public (or office) land use area within the Springville Specific Plan:

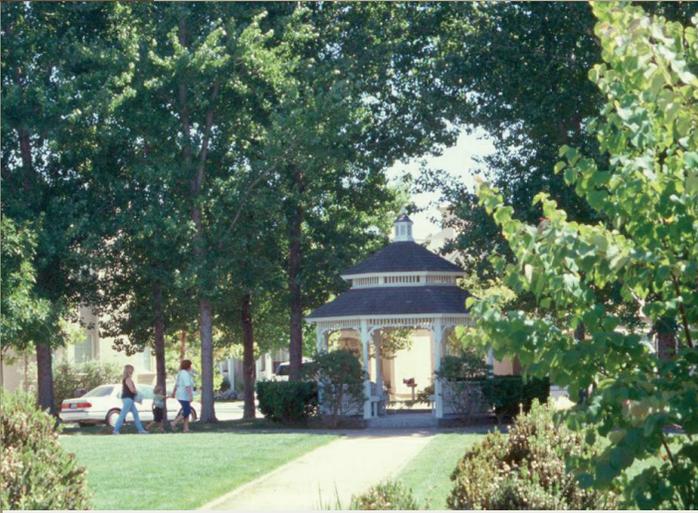
- To accurately portray the history of the agricultural landscape, it is recommended that portions of the structures with historic significance and/or surrounding farmland on the property should remain in their original locations.
- The configuration of new buildings should be oriented in a manner that enhances and preserves view corridors from existing structures which may be preserved, and from the mountains to the southeast of the property.
- Landscape and hardscape treatments should be consistent with the historic character of the area and create a seamless transition between any preserved existing structures and new development.
- Ground covering of the site, including pedestrian paths, should be of natural materials to the extent feasible, to help preserve Camarillo's agricultural past.

- The Pedestrian circulation system of the area should be linked to the adjacent residential and mixed use communities.
- The architectural design of new buildings should be compatible with the historic architectural features, style, and materials of the existing structures.
- The architectural style of new buildings should adhere to the design features of the Mission or Spanish Colonial styles (see Section 3.2.3).

### 3.2.7 NEIGHBORHOOD PARKS

The Specific Plan consists of two improved neighborhood parks, totaling 10 acres. There is one 5-acre park located in the eastern portion of the site. A second 5-acre park is located along the western edge of the plan area. Both parks will be developed with recreational equipment as well as passive open space. This planning area will be addressed by the Pleasant Valley Park and Recreation District and as such, is subject to detailed design requirements not known at this time. The final park area designs are subject to review by the City for a determination of consistency with the General Plan. Because of the pedestrian orientation of the Specific Plan, parking requirements for parks will be slightly reduced.





In addition, two passive “landscape nodes” are located at the intersections of the main travel arteries in the southern portion of the Plan area. These “landscape nodes” are designed as passive areas intended to improve aesthetics and accommodate pedestrians.

### A. Park Design Guidelines

#### 1. NEIGHBORHOOD PARKS (10 ACRES)

The following criteria shall be considered when designing the two neighborhood parks within the Springville Specific Plan area:



- Between 35 percent and 60 percent of each park area shall be reserved for turf and shall provide passive recreational space.
- Both parks shall have a minimum of 40 percent of the total park area designed as active recreational space with related equipment that shall include play structures or a tot play area.
- Both parks shall include group picnic and or individual picnic apparatus.
- Park benches and trash receptacles will be included in all parks.
- The parks shall have a distinctive character and name and shall support the surrounding neighborhood.
- Modest berming, shrub massing, and/or ground cover shall be required to help contain errant balls and add in visual interest to the landscape.



- Landscape area will include clusters of trees dispersed throughout the park area.
- The edges of the park should incorporate the Streetscape/circulation system guidelines and standards.
- Park areas can be utilized as dual retention spaces



## 2. LANDSCAPE NODES

The following criteria shall be considered when designing the “Landscape Nodes” within the Springville Specific Plan area:

- A minimum of two “Landscape Nodes” will be provided at the intersections of the main travel arteries
- Each node should be about ¼ acre in size
- Design should be a landscaped node with seating
- Landscape materials should be consistent with those used in nearby residential developments and along the street frontage.

### 3.2.8 OPEN SPACE

#### A. Open Space Design Guidelines

These areas are divided into two groups: **(a)** formal spaces and **(b)** informal spaces: The formal spaces include the Village Square community open space. The informal open spaces include the two hillside areas and the two formerly agricultural areas at the west end of the Plan area.

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#### Formal Open Space: Village Square

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The Village Square is a formal public open space located in the center of the Specific Plan project mixed use area and partially surrounded by mixed-use developments which will feature neighborhood commercial retail, office, and multi-family residential uses. The primary function of the Village Square is to provide an outdoor community gathering and activity area that is the fulcrum of a pedestrian oriented circulation system servicing multi-density residential neighborhoods. The following criteria should be considered when designing the Village Square within the Springville Specific Plan area:

- The Village Square should be designed as a landscaped open plaza featuring a fountain.
- The Village Square should utilize decorative hardscape and landscape treatments to provide a seamless transition between the automobile and pedestrian circulation system, the residential neighborhoods, and the retail commercial activity.
- The Village Square should enhance the retail uses of the Village Center by providing an outdoor extension to the retail space via, restaurant seating, display of wares, retail kiosks or merchandise carts.
- The Village Square should be designed with a distinctive character and design theme, consistent with that of the Village Center and complementary to the surrounding neighborhoods (see Section 3.2.4, Figure 3-6 and Figure 3-7).



- The landscape theme of the Village Square should be consistent with that of the streetscape and plantings of the main travel artery and the Village Center.

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#### Informal Open Space

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The informal open space in the Plan area consists of two hillside open space areas located northwest of the project area, and a 100-foot wide landscaped buffer area located along the south side of Ponderosa Drive between Camino Tierra Santa and Earl Joseph Drive (as shown in **Figure 2-1**). These informal open space areas will provide a buffer and a transition to the existing adjacent single family residential development to the north of Plan area

The following criteria shall be considered when designing the informal open space within the Springville Specific Plan area:

- The informal open space should not be fenced and should be accessible to pedestrians, but not automobiles or bikes.
- The informal open space does not require formal development, but should be left in a “natural state.”
- The Informal Open space shall have a distinctive character, theme, and name to support individuality in the surrounding neighborhoods.
- The portions of the Informal Open Space which is adjacent to roadways should be landscaped in a manner consistent with the landscaping required on the developed roadways.



Water-Retention Areas

Recreation areas are intended to dual function to temporarily collect and retain storm water runoff. Because of the limited time that these areas are needed as drainage retention areas, the opportunity to make dual use of these recreation areas is high.

Summary

- Use Village Square to highlight Village Center and the community
- Use parks and open space to provide visual relief and buffering between housing, development, and agricultural areas.
- Make dual use of recreation areas as water retention areas
- Physically connect to the pedestrian oriented circulation system and emphasize these open space areas as highlights of the community

B. Open Space Development Standards

1. Any new buildings proposed for these areas, are to be passive type structures such as picnic shelters, gazebos, entry archways, etc., and are to be of high quality neotraditional architectural design and materials. Specific design characteristics recommended for these areas are defined by the following development standards:
2. The landscape and hardscape shall be of a uniformly high quality, since these areas will provide visual character and identity for the entire community.
3. These areas are not to contain parking lots. If parking is desired, it shall be a part of the adjacent street section (e.g., parallel on-street parking).

3.2.9 SIGNAGE

While the primary purpose of signs is to guide and inform, the design and placement can be multifunctional. As an addition to building architecture and site design, signs can be an effective tool to build upon and reflect the intended character of a development or community. The Springville Specific Plan is intended to establish a gateway to the Springville and surrounding residential neighborhoods. The location and design of the proposed entry signs will be directed at establishing this gateway. Permitted sign types and sizes are designated for the Plan area entry or "Gateway" sign area, the commercial and the residential uses in the Village Center, the neighborhood identification signs in the various residential areas and for public identification in and around the Village Square. The following Sign Design Guidelines present the basic style and general principles for the various types of signs within the Specific Plan area.

Generally, within the entire Springville Specific Plan, pole and roof signs will be prohibited. Low monument signs will be the preferred freestanding sign types. These types of signs allow visibility to both pedestrian and automobile traffic. Monument signs that utilize stucco, reverse channel lettering, or indirect lighting are strongly encouraged. Internal illumination is not recommended.

In addition to these general principles, the following guidelines should be consulted prior to developing signs throughout the Specific Plan area.

A. General Design Guidelines

Each of the following general sign design guidelines should be considered prior to developing signs for any of the uses in the Plan area.

DESIRABLE

- Use a brief message. The fewer words, the more effective the sign. A sign with a brief, succinct message is simpler and faster to read and looks more attractive. Sign text should be limited to the name of the business.
- Select Colors and Materials Carefully. Sign colors and materials should be selected to contribute to a sign's legibility and to complement the buildings architecture. Bright day-glow colors should be avoided, as they are distracting and do not usually blend well with building and other background colors.
- Use Signs to Establish Façade Rhythm. On commercial center façades, signs can help establish rhythm, scale, and proportion if placed in a consistent manner.



FIGURE 3-11 SIGNAGE/FACADE WALL PORTION

- Consider the Proportions of the Building or Façade. Within a building façade, a sign may be placed in different areas. A particular sign may fit well on a plain wall area, but would overpower the finer scale and proportion of the lower storefront. As an example, a sign which is appropriate near the building entry may look tiny and out of place above the ground level, and vice versa (see Figure 3-11).
- Consider the Proportion of the Letter Area. If letters take up too much sign area, they will be harder to read. Large letters are not necessarily more legible than smaller ones. A general rule is that letters should not appear to occupy more than 75 percent of the sign panel area.
- Address Identification. Commercial signs, especially freestanding signs, should include the address of the business or commercial center, whenever appropriate.

UNDESIRABLE

- Avoid Intricate Typefaces. Overly intricate typefaces are difficult to read and reduce the sign's ability to communicate.
- Avoid Faddish Typefaces. Such typefaces soon go out of style, and the business image may become outdated as well.
- Avoid Too Many Colors. Too many colors overwhelm the basic function of communication. The colors compete with the sign's content for the viewer's attention. Limited use of accent colors can increase legibility. No more than two colors should be used, with bright colors limited to accent features. Any structural components should be designed to be hidden from view and/or painted with a neutral or consistent color.
- Avoid Strange Shapes. Signs that are oddly shaped can restrict the legibility of the message. If an unusual shape is not symbolic, it is probably confusing.



### B. Building Wall or Fascia Signs

- Provide Logical Space for Signs. All commercial buildings should provide space for the logical and integrated placement of signs.
- Sign Placement. Building signs should be placed upon the building parapet or fascia and should not exceed the height of the parapet or fascia itself.
- Make Signs Complementary. Within any development where there is more than one sign, all signs should be complementary to each other in the following ways.
  - Type of construction materials (cabinet, sign face, supports, etc.)
  - Color of copy and background (field)
  - Method used for supporting sign
  - Shape of sign and related components
- Lighting Methods. Direct and indirect lighting methods are allowed provided that they are not harsh or unnecessarily bright.
- Can-Type Signs. The use of can-type signs with translucent backlit panels is strongly discouraged. Panels (field) should be opaque if a can-type sign is used and only the lettering (copy) should appear to be illuminated.
- Backlit Letter Signs. The use of backlit (versus internally illuminated) individually cut letter signs is strongly encouraged.
- Exposed Raceways Discouraged. Exposed raceways behind the individual letter signs tend to emphasize the mechanics of the sign rather than the message and are therefore, discouraged. Buildings should be designed to conceal electrical raceways.
- Remove Brackets and Patch Holes. When existing signs are removed or replaced, all brackets, poles and other supports that are no longer required should be removed. Any holes that remain should be patched and painted to match the surrounding portion of the building or sign support structure.

### C. Monument Signs

Ground hugging monument signs, utilizing specified colors for hardware will be the **only** permanent freestanding signs allowed in the Springville Specific Plan.

- **Landscape Base.** Monument signs should be placed within a landscaped area that is at least equal to two times the square footage of the sign face. For example, if the sign face is 5 feet by 10 feet (50 square feet), then the size of the landscaped area at the base of the sign should be at least 100 square feet. The use of raised plant base requirements is in addition to the requirements of the City of Camarillo **Zoning Code**.
- **Materials for monument signs** may include but are not limited to any of the following:
  - Slump block with painted sack finish
  - Plaster and stucco
  - Brick
  - Stone
  - Concrete
- **Lettering on Monument Signs.** Lettering applied to monument signs shall be individually mounted metal letters, not to exceed 20 inches in height either front lit or halo lit except with Community Development Department approval.

### D. Nonresidential Signs

#### MIXED-USE MASTER SIGN PLAN

The mixed-use commercial/office development will be required to establish a master sign plan which conforms to the non-commercial design guidelines. It is not recommended that this master plan identify only one sign style for the entire mixed-use development, but that a variety of sign types, placements, and designs are identified for use along with the varied architectural styles permitted.

- **Courtyard Wall Signs.** Lettering applied to Courtyard Walls (walls parallel to the Frontage Line and matching the building walls to identify facilities and addresses) shall be individually mounted metal letters, not to exceed 16 inches in height, either front lit or halo lit. Courtyard Walls intended to receive signage may encroach to within 2 feet of the Frontage line.



Courtyard wall sign



Wood projecting sign



Metal projection sign

- Projecting Signs. Sign panels perpendicular to and projecting from a façade to identify a tenant or use. Such signs shall be made of metal or wood, with lettering raised or incised, and painted.
- All signs, if lit, shall be front lit or halo lit, not internally illuminated except with Community Development Department approval. No cabinet type signs are permitted.
- All signs shall be made of materials compatible with exterior building colors, materials, and finishes, and be of a high quality of fabrication.
- No signs will be permitted which do not directly relate to the name or primary service or function of the building user or institution.
- Signs are to be free of all labels and fabricator's advertising, except for those required by code.

- All electrical service to sign lights shall be fully concealed. No sign shall have exposed wiring, raceways, ballasts, conduit, or transformers.
- No sign shall have visible moving parts or simulate movement by means of fluttering, rotating, or reflecting devices.
- No sign shall have flashing, blinking, or moving lights, or any other moving lights, or any other illuminating device that has changing light intensity, brightness, or color, except for parts designed to give public service information such as time, date, temperature, or similar information.
- Freestanding Monument Signs shall be integrated with landscaping and Courtyard Walls to minimize visual mass.
- Metal signs may be made of aluminum, brass, bronze, copper, or stainless steel.
- The scale and proportion of graphics shall be in consonance with the architecture.

#### DEFINITIONS

- **Projecting Sign:** the area of the sign panel, excluding architectural supporting brackets or hangers.
- **Halo Lit Lettering:** Opaque, fabricated metal letter form with internal luminous tubing, mounted a few inches off the face of the building. Illumination falls only on building surface immediately adjacent to letter, creating halo effect.
- **Front Lit Lettering:** Fabricated letter form lighted by decorative light fixtures mounted on the façade.

#### E. Residential Signs

Permanent signs for residential uses are neighborhood identification signs which will be placed in "intersection parkways" and street address numerals consistent with the sign regulations of the zoning code, made of ceramic tile or metal and attached to a wall.





### 3.2.10 LANDSCAPE STANDARDS

#### A. Intent

Landscaping shall preserve and promote the aesthetic and spatial character of the Springville Community in the following ways:

- Landscape shall define, unify, and enhance the pedestrian oriented circulation system.
- Landscape shall take into account the views of the neighborhood homes to enhance park depth and visual character.
- Landscape shall take on an identifying commercial and “public place” characteristic, in the Village Square and Village Center.
- Landscape shall embellish and enhance private yards
- Landscape shall screen and/or buffer noise, views of parking, loading and service yards.

#### B. General

In addition to City of Camarillo Landscape Standards and the landscape provisions of this document, the following shall apply:

- All areas not devoted to paving or building shall be landscaped and permanently maintained.
- To complement building elevations, a landscape area shall be provided adjacent to façades and side elevations as designated herein.
- Planting area dimensions shall be consistent with plant material requirements and the purpose of the planting, such as aesthetics, screening, environmental mitigations, air quality, wind, noise etc.
- Street trees shall be planted at minimum of 40-foot intervals.
- A 14-foot-high sound berm shall be provided in the open space area located adjacent to the Ventura Freeway (see Figure 3-12).

- Permanent automatic irrigation facilities shall be provided in all landscaped areas.
- All methods of irrigation for landscaping shall make use of reclaimed watering systems.
- Landscape areas shall be maintained by home-owner’s associations (HOA). The creation of an alternative maintenance district acceptable to the City of Camarillo may be considered in favor of HOA s.
- Prior to the issuance of building permits, a landscape and irrigation plan in conformance with these Regulations shall be submitted to the City of Camarillo.
- To minimize exterior water use, the following measures shall be incorporated into project design within the project area, where feasible: Use of drought tolerant plants, extensive use of mulch in landscaped areas, installation of low precipitation rate irrigation systems where appropriate.
- Impervious paving and other areas which limit the percolation of rainwater and irrigation water into the ground water table shall be minimized wherever possible.
- All street trees shall be planted and staked per City of Camarillo Landscape Standards and Details. All trees planted in turf areas shall receive turf boots to prevent damage from mowers and edgers, etc. Root barriers shall be required where trees are planted within 5 feet of any walls, curbs, walks, buildings or other hardscape.
- All plant materials shall be planted in the following sizes and shall be in accordance with all City standards and minimum requirements.

#### C. Drought-Tolerant Plant Materials

These are defined as plants listed as Moderate, Low, and Very Low in the **WUCOLS PROJECT Listing of Water Use Classification of Landscape Species**, published by the University of California Cooperative Extension. University of California Publications can be obtained from:

ANR Publications  
 University of California  
 6701 San Pablo Ave., Oakland, CA 94608-1239  
 Telephone 415-642-2431

#### D. Master Plant Palette

The following are types of trees and shrubs that may be selected from the following master plant palette; however, others may also be considered.

TABLE 3-1 MASTER PLANT PALETTE

Botanical Name	Common Name	Spacing	Size (box/gallon)
Trees			
<i>Bauhinia blakeana</i>	Orchid Tree	20 feet	24 & 36 box
<i>Calodendrum capense</i>	Cape Chestnut		24 & 36 box
<i>Cedrus deodara</i>	Deodar Cedar	30 feet	36
<i>Cinnamomum camphora</i>	Camphor	30	36
<i>Cupaniopsis anacardioides</i>	Carrotwood	20–30	24 & 36
<i>Cupressus sempervirens</i>	Italian Cypress	10	24
<i>Eucalyptus Nicholii</i>	Willow-leafed Peppermint	15–30	15 gallon
<i>Fraxinus uhdei</i>	Evergreen Ash	30–40	36
* <i>Koelreuteria bipinnata</i>	Chinese Flame Tree		
* <i>Jacaranda mimosifolia</i>	Jacaranda	30	36
<i>Liquidambar styraciflua</i>	Sweetgum	15–30	24 & 36
<i>Magnolia grandiflora</i>	Southern Magnolia	30	36
<i>Pinus canariensis</i>	Canary Island Pine	30	24 & 36
<i>Pittosporum undulatum</i>	Victorian box	25	24 & 36
<i>Podocarpus gracilior</i>	Fern Pine	20–30	24 & 36
<i>Prunus spp.</i>	Ornamental Plum	25	24
<i>Prunus caroliniana</i>	Carolina cherry	20	24
<i>Pyrus spp.</i>	Ornamental Pear	25	24
<i>Schinus molle</i>	California Pepper	30	36
<i>Tipuana tipu</i>	Tipu Tree	30	24 & 36
<i>Tristania conferta</i>	Brisbane Box	30	36
<i>Ulmus parvifolia</i>	Evergreen Elm	30 & 40	36
<i>Abelia grandiflora</i>	Glossy Abelia	4–6	1 or 5 gal.
<i>Acacia redolens</i>	N.C.N.	8	1 gal.
<i>Arbutus unedo</i>	Dwarf Strawberry Tree	8–10	5 gal.
<i>Baccharis pilularis</i>	Coyote Bush	4–6	1 gal.
<i>Bougainvillea sp.</i>	Bougainvillea	4–6	1 & 5 gal.
<i>Buxus m. japonica</i>	Japanese Boxwood	3–4	1 or 5 gal.
<i>Carissa macrocarpa</i>	Prost. Natal Plum	3	5 gal.
<i>Cercis occidentalis</i>	Western Redbud	6–8	1 or 5 gal.
<i>Ceanothus spp.</i>	Varies	varies	1 or 5 gal.
<i>Cistus sp.</i>	Rockrose	4	1 or 5 gal.



TABLE 3-1 MASTER PLANT PALETTE

<i>Botanical Name</i>	<i>Common Name</i>	<i>Spacing</i>	<i>Size (box/gallon)</i>
<i>Coleonema pulchrum</i>	Pink Breath of Heaven	5	1 or 5 gal.
<i>Cotoneaster sp.</i>	Cotoneaster	varies	1 or 5 gal.
Shrubs			
<i>Dietes bicolor</i>	Fortnight Lily	5	1 or 5 gal.
<i>Elaeagnus pungens</i>	Silverberry	6	5 gal.
<i>Escallonia fradesii</i>	Escallonia	4	5 gal.
<i>Euonymus sp.</i>	Euonymus	4–6	1 or 5 gal.
<i>Grevillea Noelli</i>	Noel's Grevillea	4	1 or 5 gal.
<i>Hemerocallis sp.</i>	Daylily	2	1 or 5 gal.
<i>Heteromeles arbutifolia</i>	Toyon	8	1 or 5 gal.
<i>Limonium perezii</i>	Sea Lavender	2	1 or 5 gal.
<i>Lantana montevidensis</i>	Trailing Lantana	5	1 or 5 gal.
<i>Lavandula sp.</i>	Lavender	2	1 or 5 gal.
<i>Leptospermum scoparium</i>	New Zealand Tea Tree	6–8	1 or 5 gal.
<i>Ligustrum j. 'Texanum'</i>	Japanese Privet	3–5	1 or 5 gal.
<i>Nerium oleander</i>	Oleander	6–8	1 or 5 gal.
<i>Pennisetum setaceum</i>	Fountain Grass	varies	1 or 5 gal.
<i>Photinia fraseri</i>	Photinia	8	1 or 5 gal.
<i>Phormium tenax</i>	New Zealand Flax	6	1 or 5 gal.
<i>Plumbago auriculata</i>	Cape Plumbago	6	1 or 5 gal.
<i>Pittosporum sp.</i>	Mock Orange	varies	1 or 5 gal.
<i>Prunus caroliniana</i>	California Laurel Cherry	6	1 or 5 gal.
<i>Raphiolepis sp. (small varieties)</i>	India Hawthorn	2–0	1 or 5 gal.
<i>Raphiolepis sp. (large varieties)</i>	India Hawthorn	4–0	5 gal.
<i>Rosa sp.</i>	Rose	4–0	5 gal.
<i>Rosmarinus officinalis "Prostratus"</i>	Rosemary	3–5	1 gal.
<i>Salvia sp.</i>	Sage	3–4	5 gal.
<i>Sollya heterophylla</i>	Australian Bluebell Creeper	3–4	1 or 5 gal.
<i>Tecomaria capensis</i>	Cape honeysuckle	6–8	1 or 5 gal.
<i>Trachelospermum jasminoides</i>	Star Jasmine	3	1 gal.
<i>Xylosma congestum</i>	Shiny Xylosma	8	1 or 5 gal.
<i>Arctostaphylos spp.</i>	Manzanita	varies	Flats/Containers
<i>Carissa grandiflora</i>	Natal Plum	18–24	1 gal.

TABLE 3-1 MASTER PLANT PALETTE

Botanical Name	Common Name	Spacing	Size (box/gallon)
<i>Hedera helix "Hanhii"</i>	Hahn's Ivy	8-12	Flats
<i>Hypericum calycinum</i>	Aaron's Beard	8-12	Flats
<i>Lippia canescens</i>	Lippia	8-12	Flats
<i>Lonicera japonica</i>	Japanese Honeysuckle	12-18	Flats
<i>Rosmarinus officinalis "Prostratus"</i>	Periwinkle	3-4	1 gal.
<i>Vinca major</i>		12-18	Flats
Vines			
<i>Antigonon leptopus</i>	Rosa de Montana	varies	1 or 5 gal.
<i>Distictus buccinatoria</i>	Blood Red Trumpet Vine	varies	1 or 5 gal.
<i>Ficus pumila</i>	Creeping Fig	varies	1 gal.
<i>Gelsemium sempervirens</i>	Carolina Jessamine	varies	1 or 5 gal.
<i>Hardenbergia violacea</i>	N.C.N.	varies	1 or 5 gal.
<i>Parthenocissus tricuspidata</i>	Boston Ivy	varies	1 gal.
<i>Rosa banksiae</i>	Lady Banks Rose	varies	1 or 5 gal.

\* These trees are wind sensitive and shall be planted in protected locations.

### E. Roads and Streets

The principal plantings on all streets are tree rows mixed with landscape berms and shrubs that define the pedestrian oriented circulation system. All streetscapes shall be planted with a 1:1 ratio mix of 15-gallon and 24-inch box-sized trees or larger. Street trees shall be selected for their ability to form canopies and require minimal maintenance. This includes trees with sidewalk-friendly root systems. Root collars will be utilized in all areas where there are sidewalks and/or plazas. Consistency in tree species and spacing shall be used to establish a strong street identity.

#### Perimeter Roads

Perimeter roads connect the Springville Plan Area to the adjacent land uses. These roads also define the boundary of the community, and offer the motorist or pedestrian alternative choices for circulation. Although these traveled ways are linked under the heading of perimeter roads, they have distinctive configurations and contextual differences. Trees on these roads clarify and reinforce these distinctions while also establishing unity of design. Trees on perimeter roads shall be planted along the landscape buffer area adjacent to all public sidewalks with lawn as ground cover. Trees will be spaced equally at approximately 30 feet on center.



#### Streets (primary and local collectors)

All residential and commercial frontages within the Specific Plan Area shall have trees planted along the landscape area adjacent to all public sidewalks with lawn as ground cover. Trees will be spaced equally at approximately 30 feet on center. In order to provide maximum identity, the width of landscape buffers, street medians, and sidewalks shall correspond to the type of the street (see Section 3.2.14, primary and local collectors).



Intersections

All street intersections along the primary collector (Springville Promenade) shall include additional landscape elements and street furniture on corner setbacks (see Section 3.2.14 "Intersections"). These areas shall be planted with a minimum of two 15-gallon trees, shrubs, and/or vines.

Private Drives

The following guidelines are recommended for landscaping private drives in the Village Center and the residential areas of the Springville Plan Area.

- Incorporate planting areas between homes with a minimum of one 2- to 3-inch caliper tree, shrubs, and/or vines.

**F. Village Square, Neighborhood Parks, and Hillside Open Space Areas**

Village Square and neighborhood parks shall include lawns and trees, located strategically at the perimeter to allow visibility into the park or open space. Planted groupings that create small central groves are desirable. The designated open space adjacent to the Ventura Freeway on the south edge of the Plan Area shall be developed as a sound berm.

Sound Berm

The following design standards shall be incorporated into the development of the sound berm located in the open space adjacent to the Ventura Freeway (see Figure 3-12):

- A sound berm shall be constructed along the entire length of the designated open space on the south side of the Plan Area, adjacent to the Ventura Freeway.

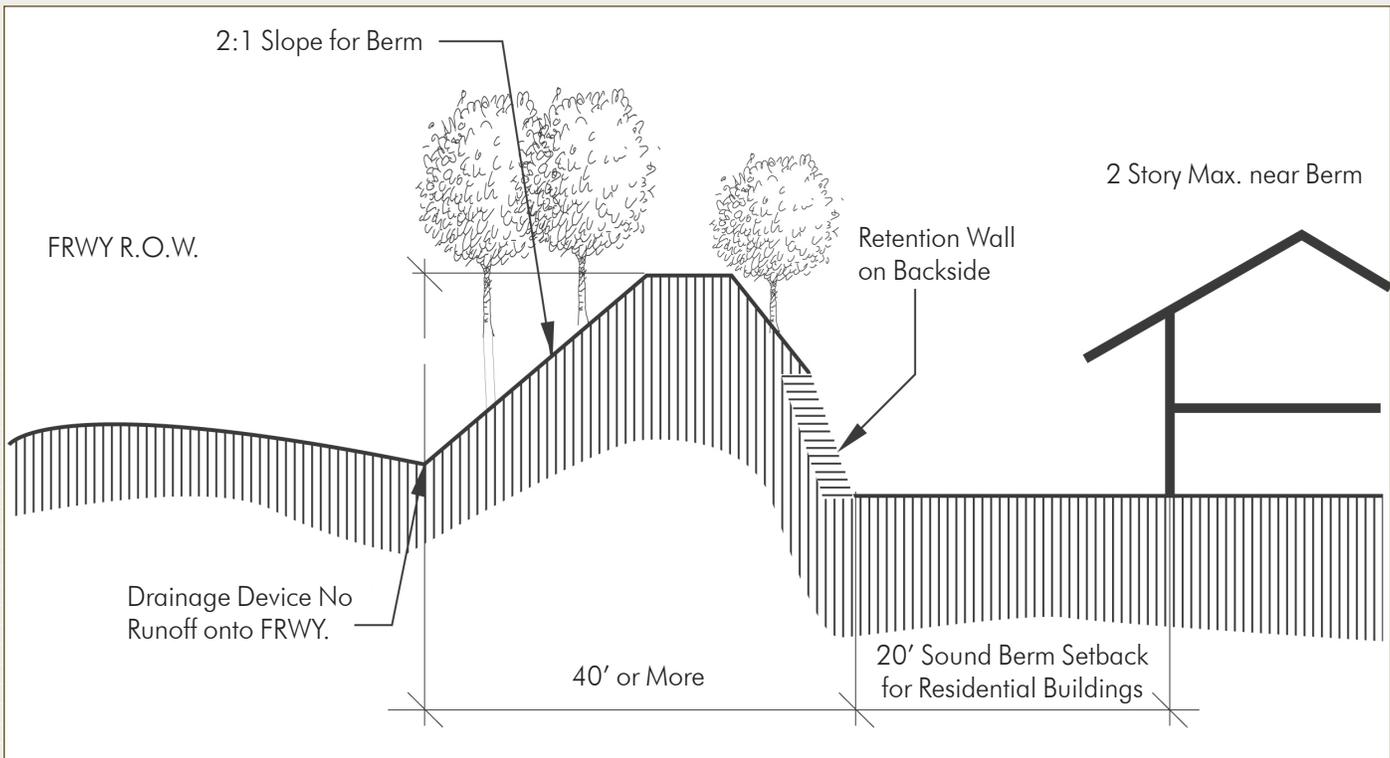


FIGURE 3-12 SOUND BERM

- The sound berm shall be a consistent 14 feet in height, with a maximum 2:1 slope.
- The north side of the sound berm facing the interior of the Plan Area may be designed with a 6-foot-high sloped retention wall (optional) as shown in Figure 3-12.
- The sound berm retention wall shall be designed with planting pockets and planted to allow landscape coverage.
- The sound berm shall be planted and irrigated in accordance with other landscape requirements.
- The sound berm shall be designed with a drainage system such that no runoff occurs onto the Ventura Freeway to the south, or the streets or yards to the north.

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Trees

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Trees shall allow easy visibility under their canopies. Village Square and neighborhood parks shall have large, vertical trees at the perimeter, which define the space, but allow maximum space for both active and passive recreational activities. Hillside open space areas shall have accent trees which display seasonal changes. Planted trees shall be a combination of 36-inch, 24-inch, and 15-gallon sizes.

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Space Defining Trees

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- *Araucaria* sp./Araucarias
- *Brachychiton populneus*/Bottle Tree
- *Liquidambar styraciflua*/American
- *Palm* sp./Palms
- *Populus candicans*/Balm of Gilead
- *Platanus acerifolia*/Plane Tree
- *Sequoia sempervirens*/Coast Redwood

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Accent Trees

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- *Albizia julibrissin*/Mimosa Tree
- *Bauhinia blakeana*/Kong Orchid Tree
- *Erythrina caffra*/Coral Tree
- *Ginkgo biloba*/Maidenhair Tree
- *Jacaranda mimosifolia*/Jacaranda
- *Liquidambar styraciflua*/Sweetgum
- *Koelreuteria paniculata*/Raintree
- *Pistacia chinensis*/Pistache

- *Prunus cerasifera*/Purple Plum
- *Tipuana tipu*/Tipu Tree
- *Pyrus calleryana*/Aristocrat Pear

### G. Landscaping on Private Residential Lots

Front yard plantings shall be organized by building type and shall contribute to distinctive streetscapes throughout the residential neighborhoods. The types of landscaping, hardscape and low yard walls or fences that are built adjacent to the streets will define the character of the neighborhood. The Specific Plan allows for front yard landscape treatments



that emphasize the front lawn.

### H. Residential Yards

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Front Yards

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Plantings in yard areas fronting on streets shall be appropriate to the scale, orientation, and purpose of the yard. Front yards shall contribute to distinctive streetscapes throughout the residential portions of the community. Landscaping, hardscape, and low walls or fences that are built adjacent to the streets will define the character of the various neighborhoods within the community. Appropriate materials and designs for specific frontage yard types are listed below.

- The primary ground cover shall include lawn or other approved material.
- Shrubs and ground cover shall be planted at the foundation of the building façade.



- Fifty percent of the yard may be hardscape that may be designed access to the garage and for guest parking, front walks and courtyards. Hardscape may include brick, stone, interlocking concrete pavers, textured concrete, and/or impressed patterned concrete. The balance of the yard shall be landscaped. Hardscape may be used for driving and parking of automobiles.
- Landscaping may include turf, low shrubs, or ground cover and yard trees listed below.

Single Family Front Yards shall be a minimum of 20 feet in width, from the back of the sidewalk to a façade or garden wall. A minimum of 10 feet of lawn shall be planted behind the sidewalk on all areas of front yards except pedestrian paths and vehicular access driveways. At façades, low shrubs and/or ground cover shall be planted against the façade. At garden walls, low shrubs and wall vines, or tall shrubs alone, shall be planted against the wall.

Multi-Family Front Yards shall be a minimum of 20 feet in width from the back of the sidewalk to a face or garden wall. Turf, ground cover, and low shrubs may be planted in the area between the buildings and the sidewalk. Shrubs shall be massed or configured as maintained hedges. Tree shapes, sizes, and types shall be planted as buffers and as definers of the edge of the private space, but at all times shall be in proportion to the height and mass of the building façade.

**I. Other Yards**

Side and Rear Yard Plantings

Side yards shall be planted to insure privacy and create buffers as identified above. Rear yards and property lines need not be landscaped, except as required to the extent that they affect the quality of the pedestrian oriented circulation system.

Yard Trees: recommended for residential neighborhoods shall be planted as buffers and definers of the edge of the private space, but at all times shall be in proportion to the height and mass of the building façade. Trees may include the following species:

- *Araucaria* sp./Araucarias
- *Brachychiton populneus*/Bottle Tree
- *Pine* sp./Pines
- *Platanus acerifolia*/Plane Tree
- *Albizia julibrissin*/Mimosa Tree
- *Bauhinia blakeana*/Kong Orchid Tree
- *Erythrina caffra*/Coral Tree

- *Ginkgo biloba*/Maidenhair Tree
- *Jacaranda mimosifolia*/Jacaranda
- *Liquidambar styraciflua*/Sweetgum
- *Koelreuteria paniculata*/Raintree
- *Pistacia chinensis*/Pistache
- *Prunus cerasifera*/Purple Plum
- *Tipuana tipu*/Tipu Tree
- *Pyrus calleryana*/Aristocrat Pear

**J. Commercial/Retail Buildings**

Parking Lots

Landscaping of parking lots shall consist of a 1:1 ratio mix of 15-gallon and 24-inch box trees or larger and shall be provided at the rate of one tree per three parking spaces. The required trees shall be planted on landscaped islands located within the parking area and along the perimeter of the parking area. Acceptable plant materials are as follows:

- *Cupaniopsis anacardiodes*/Carrotwood
- *Bauhinia blakeana*/Hong Kong Orchid Tree
- *Jacaranda mimosifolia*/Jacaranda
- *Liquidambar styraciflua*/Sweetgum
- *Koelreuteria Paniculata*/Raintree
- *Magnolia grandiflora*/Southern Magnolia
- *Platanus acerifolia*/London Plane Tree
- *Pittosporum undulatum*/Victorian Box
- *Tipuana tipu*/Tipu Tree

Tall Shrubs: These shall reach 4 to 10 feet in height at maturity and shall not be frequently sheared or pruned. The shrubs shall display flower and/or foliage color, and be resistant to prolonged periods of drought. Acceptable species are as follows:

- *Abelia grandiflora*/Glossy Abelia
- *Escallonia fradesii*/Escallonia
- *Elaeagnus pungens*/Silverberry
- *Nerium oleander*/Oleander
- *Photinia fraseri*/Photinia
- *Plumbago auriculata*/Cape Plumbago
- *Pittosporum tobira "Variegata"*/Variegated Tobira
- *Xylosma congestum*/Shiny Xylosma

Low shrubs and ground covers: These shall reach no more than 3 feet in height at maturity, without requiring frequent shearing and pruning. The shrubs shall display flower and/or foliage color, and be resistant to prolonged periods of drought. Acceptable species are as follows:

- *Bougainvillea*/Bougainvillea
- *Carissa macrocarpa*/Natal Plum
- *Cistus salvifolius*/Rockrose
- *Cotoneaster "Lowfast"*/Cotoneaster
- *Euonymus f. "Colorata"*/Euonymous
- *Lantana montevidensis*/Trailing Lantana
- *Pittosporum t. "Whealers"*/Prostrate Tobira
- *Trachelospermum jasminoides*/Star Jasmine

Hedge plantings, when used in lieu of a Street wall: These hedges shall be pruned and sheared into a solid hedgerow of the specified height, without breaks or openings between individual shrubs. Acceptable species are as follows:

- *Escallonia fradesii*/Pink Escallonia
- *Ligustrum texanum*/Wax Leaf Privet
- *Raphiolepis "Springtime"*/India Hawthorn
- *Buxus japonica*/Japanese Boxwood
- *Photinia fraseri*/Red Photinia
- *Pittosporum undulatum*/Victorian Box

Trash Enclosures and Street walls at Loading Areas: These walls shall be planted with self-adhering vines no less than 10 feet on center and a minimum of 5 gallons in size. Acceptable species are as follows:

- *Ficus pumila repens "Minima"*/Creeping Fig
- *Parthenocissus tricuspidata*/Boston Ivy



### 3.2.11 WALLS AND FENCES

The community theme is one of inclusiveness and integration rather than exclusivity and segregation. The community shall be viewed as open, connective, and inviting. No thematic walls may occur along a public right-of-way. Walls, when they are used, shall be used as adjuncts and fenestration to the public landscape.

- All fencing and wall heights will be measured vertically from the average finished grade at the base of the fence or wall. Side and rear yard walls will have a maximum height of 6-0. Landscaping with shrubs and vines shall be used to reduce the visible height of walls when necessary.
- Side yards requiring a retaining wall will provide a minimum horizontal separation of 3-0 between the side yard wall and the retaining wall to allow for planting.
- Side yard gates may be wood or tubular steel.
- Fencing and walls must be of plaster, smooth finish stucco, concrete, earth-tone slump stone, masonry finish, or tubular steel. Finish colors must be approved by the City and be consistent with the architectural palette.
- Fencing and walls must meet pool safety code requirements for height and picket spacing and access.
- All retaining walls must be properly waterproofed and drained.
- Walls may not occur directly adjacent to a public walkway. A minimum 6-0 landscaped area is required.
- Walls used to screen any parking areas (screening walls) shall be 4-0 high and shall include a 6-0 landscaped berm facing the public space (see Figure 3-9).



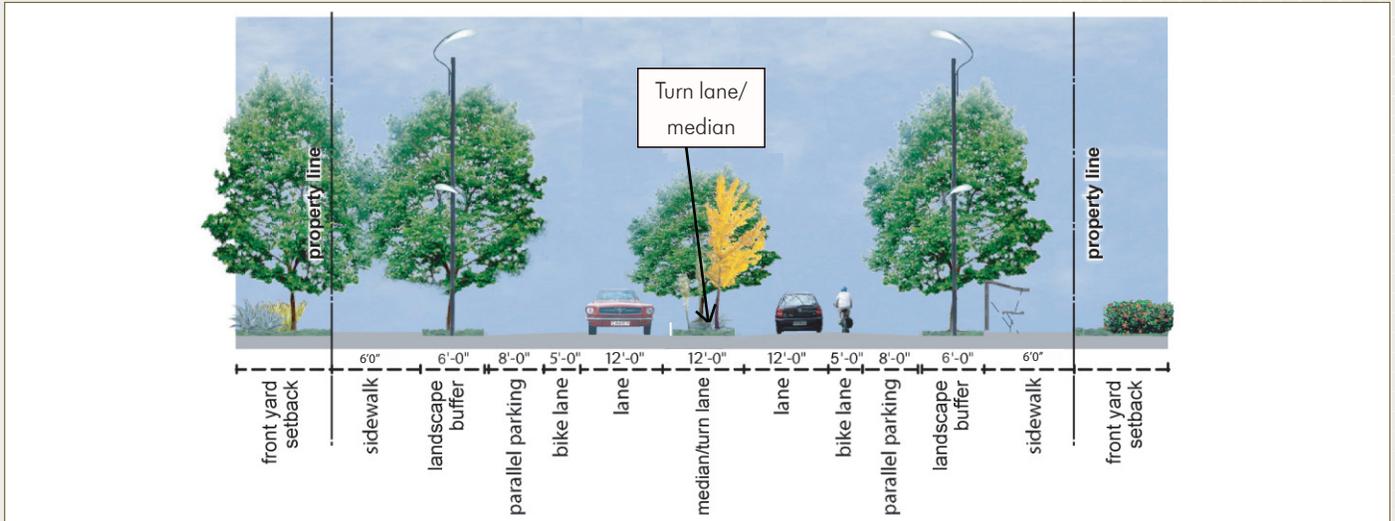


FIGURE 3-14 PRIMARY COLLECTOR

**B. Local Collector**

There are secondary local collector streets designed in the Plan Area. These collectors connect Ponderosa Drive and the residential neighborhoods located south of the project site with the Springville Promenade. They have a 50-foot curb-to-curb dimension, but no landscaped median, a single 12-foot-wide traffic lane in each direction, a bike lane, parallel parking, 6-foot-wide landscaped buffers, and 6-foot-wide sidewalks (see Figure 3-15).

**C. Local Street**

The Local Streets within the Plan Area are those interior streets that provide access to the residential properties and cul-de-sacs. They are designed with a 36-foot curb-to-curb dimension providing parking and a single traffic lane in each direction. 4-foot-wide Sidewalks and 6-foot-wide landscape buffers will also be provided (see Figure 3-16).

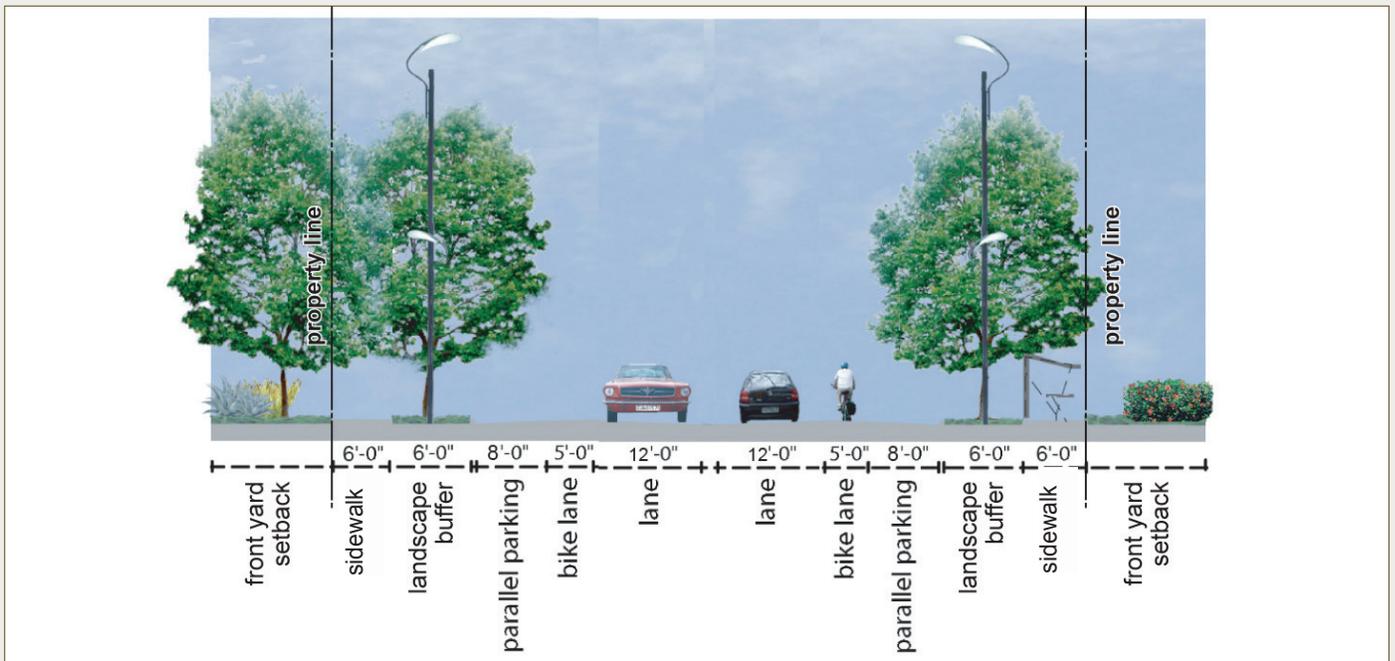


FIGURE 3-15 LOCAL COLLECTOR

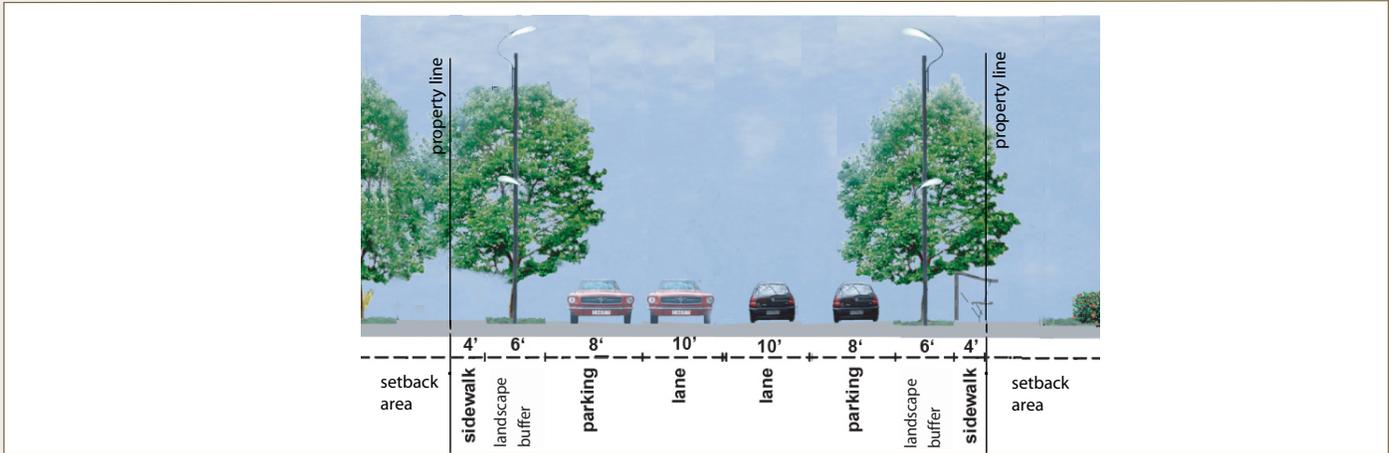


FIGURE 3-16 LOCAL STREET

### D. Village Center Roundabout

South of Ponderosa Drive the Primary collector or Springville Promenade travels in a north/south direction until it reaches a landscaped roundabout where it turns an east/west direction (see **Figure 3-13**). The roundabout provides a distinctive terminus to the vista in both directions for the people walking, biking, driving, or riding in a vehicle along the Promenade. In addition, it allows for increased efficiency for moving vehicles through an intersection without a traffic signal.



### E. Ponderosa Drive Extension

The Ponderosa Drive extension to the Springville Drive Interchange will be designed as a 74-foot curb-to-curb roadway with a bike lane, two traffic lanes in either direction, and a 14-foot median. There will be no parking lanes designed on this road extension. Sidewalks and landscape buffers will be provided as shown in Figure 3-17.

### F. Intersection Design

Intersections along the Promenade, whether signalized or un-signalized, shall provide pedestrian crossings in all directions to provide easy and safe pedestrian access along the street. Mid-block pedestrian crossings shall be a distance of 300 feet or greater from intersections. Corners shall be designed to reduce crossing distances for pedestrians and to slow down turning vehicles. As recommended for new street design by the Access Board, corners shall be designed with two directional disabled ramps directing pedestrians to each crosswalk (instead of one diagonal curb ramp at the corner). The corners shall extend into the area where the on-street parallel parking is located back from the intersection (see Section 3.2.5, Figure 3-10). The corner between the two directional curb ramps will be landscaped with ground cover and low shrubs. Crosswalks shall be designed with distinctive zebra-stripping, 2-foot-wide white stripes spaced 2 feet apart parallel to the curb with no striping perpendicular to the curb.

### G. On-Street Parking/Bike Lanes

On-street parallel parking shall be provided along the full length of the primary collector or Springville Promenade. This will create a buffer between the pedestrian walkway and moving vehicles and allow easy access to parking spaces for the residential and commercial facilities along the Promenade. On-street parking adjacent to the Village Center can be considered into the number of off-street parking

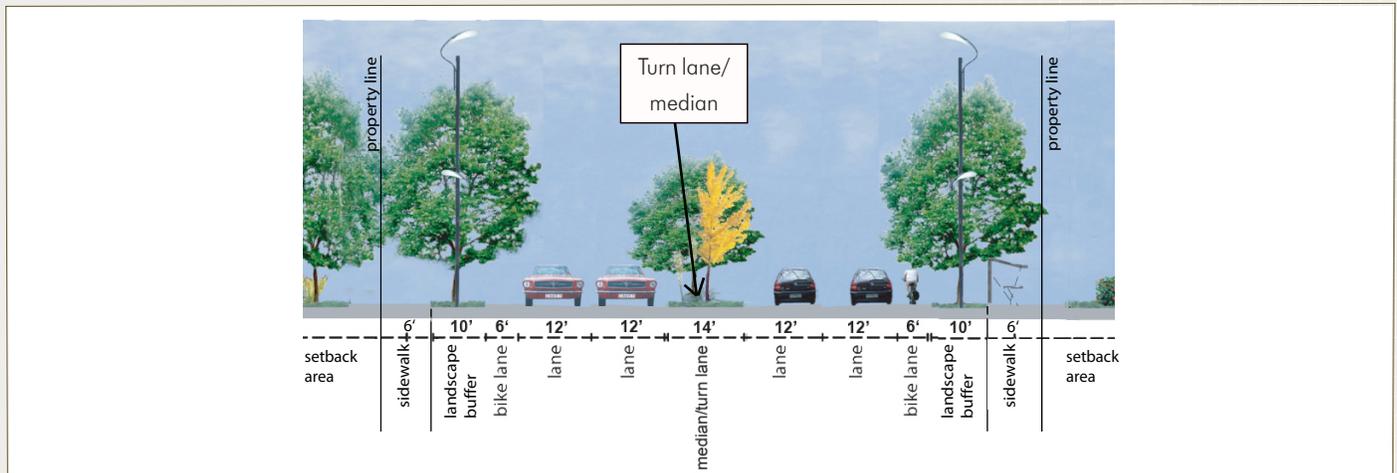


FIGURE 3-17 PONDEROSA DRIVE EXTENSION

spaces required for the mixed-use development. The on-street parking spaces shall be 8 feet wide by 22 feet long and striped along the outside edge to inspire drivers to park as close to the curb as possible. Dedicated, striped 5-foot-wide bike lanes shall be provided in each direction between the on-street parallel parking spaces and the first vehicle travel lane for the full length of the Promenade. This prominent bike lane design is an encouragement for non motorized travel within the Springville Specific Plan Area. Strategically placed bike racks along the parkway, particularly near the Village Center, will further encourage bike ridership for short trips.

**H. Vehicle Travel Lanes**

Minimum-width (12-foot-wide) vehicle travel lanes shall be provided to reduce the amount of roadway paving, to calm traffic and minimize the pedestrian crossing distance.

**I. Springville Promenade Landscape Median**

A 12-foot-wide landscaped island median with clusters of flowering and evergreen or deciduous trees, low shrubs, and ground cover shall be designed beginning at the entry into the community from Ponderosa Drive and continue along the entire length of the primary collector street or Springville Promenade. Shrubs located at entries and major intersections shall have a minimum size of 5 gallons with minor exceptions as approved by the City of Camarillo Community Development Director.

**J. Springville Promenade Mid-block Pedestrian Crossings**

In order to provide improved pedestrian access between intersections and along the primary collector or Springville Promenade, mid-block crosswalks shall be provided (at least one between all local collector/Springville Promenade

intersections). Mid-block pedestrian crossing shall not be less than 300 feet from any intersection. The design of the crosswalks shall include distinctive 2-foot-wide white stripes, spaced 2 feet apart, parallel to the curb, with no striping perpendicular to the curb. These mid-block crosswalks shall be created with landscaped sidewalk extensions and an angled cut-through in the median. The angled cut-through allows pedestrians and vehicle drivers improved visual access to each other establishing better eye contact. The pedestrian’s view is oriented toward the on-coming traffic and can be better seen by the driver. The median island provides a necessary pedestrian refuge in the middle of the street so the pedestrian can cross one side of the street at a time and minimizes the danger if they find it necessary to stop in the middle. The sidewalk extensions allow the pedestrians to see and be seen by drivers of vehicles beyond the parked vehicles and reduce the crossing distance and pedestrian vehicle conflicts (see Figure 3-18).



FIGURE 3-18 MID-BLOCK PEDESTRIAN CROSSING



### 3.2.15 CURBS AND SIDEWALKS

**Curbs** shall be designed as a vertical concrete curb. The curb color shall be natural gray concrete.

**Sidewalks** shall be separated from the curb by a minimum 6-foot-wide planted parkway on all streets or as required in Section 3.2.14. All sidewalks shall be natural gray medium, acid-wash-finish concrete with a tooled grid to reflect the character of older early California neighborhoods (2x2-foot grid for 4-foot walks), (2.5x2.5-foot grid for 5-foot walks), and (3x3-foot grid for 6-foot walks). Other walkways in the community may include but are not limited to the following:

- Natural Gray acid wash concrete
- Integral color concrete with acid wash finish
- Seeded / Exposed Aggregate concrete



- Flagstone
- Brick
- Pre-cast, interlocking concrete pavers

### 3.2.16 HARDSCAPE AND STREET FURNITURE

The design of hardscape and street furniture shall create a strong community framework which relates to the established architectural style and character. Natural materials with quality construction are strongly encouraged. The goal is to conceive of site elements as part of an integrated and related system



Street furniture



Enhanced paving

that ties to the site and to the architecture. The hardscape and street furniture element may include enhanced paving (sidewalks and paving), walls and fences, arbors and shade structures, water features, gates, seating elements, lighting, signage, finishes, grade elevations, and drain structures.

The following are suggested guidelines for hardscape and street furniture design:

- The hardscape shall be used to enhance the pedestrian experience.
- Enhanced paving shall be used in special areas, neighborhood entries, intersections and along the primary collector street (Springville Promenade) in conjunction with fountains, trellis structures, and other specialized features to enhance the area's visual prominence.
- Street furniture shall be used on intersections along the primary collector street (Springville Promenade). Seating to accommodate at least eight people shall be provided in all intersections landscape areas and bucket parks. This seating feature shall be incorporated into the overall theme and design of signs or other intersection elements.

Hardscape materials may include but are not limited to the following:

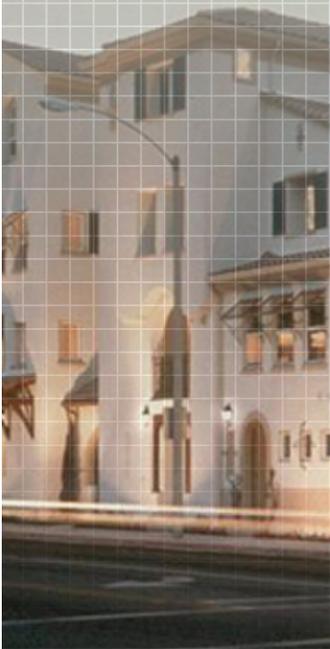
- Integral color concrete with acid wash finish and a pattern of frequent deep score joints
- Seeded exposed aggregate concrete







# IMPLEMENTATION





# IMPLEMENTATION

## 4.1 PAVE-OUT POLICY TO APPLY

In addition to adoption of this Specific Plan by the City of Camarillo, the City may enter into a Development Agreement authorized pursuant to Section 65865 et seq. of the California Government Code.

## 4.2 PHASING

Development of the Specific Plan Area is anticipated to occur in several phases. Development of the major land use components (the residential areas, Village Center and Village Square, and neighborhood parks) may occur independently of one another or in parts. The sequence of development of the major project elements cannot be predicted, and would depend on market conditions. Consideration has been given to the future development of portions of the Urban Reserve/ Park/Ag areas at the west end of the project site. Development of these areas is dependent on the completion of a required study of the earthquake fault that runs through them. Given the results of that study, future additional residential development would be considered.

The extent and sequence of phases of development would be approved through the City's development review process and subdivision map approval process with implementation of the utility master plans, as contained in this Specific Plan, as required to provide necessary utility services. In no case would the number of residential units built exceed the City's annual development allocation program.

Each builder's requirement will be for improvements within their individual project boundary with exception of funding their share of the Springville interchange.

Phase I improvements shall include but not be limited to the following:

- Implementation of Ventura Highway/Springville Drive Interchange design plan
- Widening and improvements of West Ponderosa Drive along the length of the project
- Ponderosa Drive must extend to the new Springville Drive Interchange to a minimum of one lane in each direction per City requirements
- Major infrastructure improvements including water, sewer, drainage, and utility trunk lines
- Dedication of neighborhood park sites with roads, berms and utilities to allow commencement of improvements
- Extension and improvement of Earl Joseph Drive
- Extension and improvement of Tierra Santa
- Mass grading of the entire parcel (each of the four properties as shown in Figure 1-4) at the time of the any grading
- As second north bound turn lane must be constructed on Las Posas Road at Ponderosa Drive

Phase II and later improvements shall provide the necessary elements to accommodate the build out of the site. Each phase will be reviewed at the time of the request for permits including a review of traffic conditions.

### 4.3 DEVELOPMENT REVIEW PROCESS

All development within the Springville Specific Plan Area is subject to the standards and guidelines in this Specific Plan. As part of the application review process (i.e., staff review, development design review permit, conditional use permit, subdivision map approval, etc.) the City of Camarillo shall review project submittals for consistency with these standards and guidelines. Subdivision maps, planned development permits, conditional use permits, and building permits shall be processed in accordance with the procedures established by the City of Camarillo and the Springville Development Agreement.

In addition, a large portion of the project site lies within the traffic pattern zone of the Camarillo Airport, and will experience approximately 30,000 overflights annually at altitudes of 800 to 1000 feet above ground level. The site also lies beneath a helicopter training pattern and is subject to helicopter overflights at approximately 500 feet above ground level.

With the airport proximity in mind, additional safety and sound mitigation requirements may be considered upon approval of this Specific Plan. Such requirements shall be subject to agreement between the Aviation Advisory Commission, the Airport Land Use Commission, the Camarillo Airport Authority, the City of Camarillo, and the developer.

## 4.4 SPECIFIC PLAN ADMINISTRATIVE

### 4.4.1 ADMINISTRATION

The Specific Plan includes development and design standards and guidelines but cannot foresee every potential condition requiring decisions within the development review process. Any subsequent discretionary approval or amendment to the Specific Plan must be consistent with the General Plan as amended and/or updated, except where the Developer/Applicant possess vested rights under the terms of a Development Agreement entered into between the Developer/Applicant and the City.

Development applications that are not in substantial conformance with the Specific Plan or that may require an amendment to the Specific Plan shall be governed by the following processes under the following four application categories: Minor Modifications, Major Modifications, Specific Plan Amendments, and Conditional Use Permits.

#### a. *Minor Modifications*

The following items may deviate, within specified limitations, from the adopted Specific Plan but shall be considered to be in Substantial Conformance with the Specific Plan. This review shall occur at staff level, through the development review process if so determined by the Director of Community Development (Director). The Director, however, shall have the discretion to refer any such request for modification to the Planning Commission as a Major Modification. Conversely, the applicant shall have the right to appeal decisions of the Director to the Planning Commission and/or City Council:

- Final facility sizing and alignment of water, sewer, and storm drain improvements (as directed by the City Engineer)
- Change in utility and/or infrastructure servicing agency
- Alignment of local streets within neighborhoods so long as the number and approximate spacing of connections is in general conformance with the Land Use Concept Plan
- Local street, road, and bicycle/jogging trail alignments provided that connecting of destination points is maintained



- Minor landscape and streetscape design modifications consistent with the Design Guidelines contained in this document and approved through the development review process
- Deletion of utility infrastructure deemed unnecessary by the City Engineer

**b. Major Modifications**

Amendments may be requested at any time pursuant to Section 65453(a) of the **California Government Code**. Proposed amendments deemed to be Major Modifications by the Director of Community Development as defined herein will be processed by the Planning and Environmental Services Division through the development review process and approved by the Planning Commission. If the Director so determines, the changes identified below may be processed as a Specific Plan Amendment as described below:

- Location or reconfiguration of major streets
- Specific modifications of a similar nature to those listed above, which are deemed by the Director to be in keeping with the spirit and intent of the Specific Plan, and are in conformance with the 2020 General Plan

**c. Specific Plan Amendments**

Amendments may be requested at any time pursuant to Section 65453(a) of the California Government Code. If any proposed modification to the Specific Plan is deemed major by the Director, it will be processed as an amendment to the Specific Plan. Depending upon the nature of the proposed amendment to the Specific Plan, additional environmental analysis may be required, pursuant to Section 15162 of the **California Environmental Quality Act**.

**d. Conditional Use Permit**

Uses subject to a conditional use permits, the process and requirements for review and either approval or denial shall be in accordance with those set out in the RPD and CPD sections of the City of Camarillo zoning code.

**4.5 DEVELOPMENT AGREEMENT**

It is contemplated that Development Agreements may be used to implement the Goals and Policies of the Specific Plan.

A Development Agreement is a contract between the City of Camarillo and the property owners/applicants, which delineates the terms and conditions of the Developer’s proposed project. By enacting the Development Agreement Legislation of 1979, the California Legislature provides for the following measures:

- **Certainty:** The lack of certainty in the approval of development projects can result in a waste of resources, escalate the cost of housing and other development to the consumer, and discourage investment in and commitment to comprehensive planning which would make maximum efficient utilization of resources at the least economic cost to the public.
- **Assurance:** Assurance is necessary to the applicant for a development project that upon approval of the project the applicant may proceed with the project in accordance with existing policies, rules and regulations, and subject to the conditions of approval. Such assurance will strengthen the public planning process, encourage private participation in comprehensive planning, and reduce the economic cost of development (Government Code Section 65864).
- **Intent of Legislation:** This legislation was intended both to preserve local government control over development projects and to give developers the opportunity to specify the parameters of a project in one undertaking. The Development Agreement Legislation fulfills the public needs to alleviate haphazard land regulation schemes that burden smaller, less integrated development projects, and to provide for comprehensive long-term planning and land use regulation for major developments.
- **California Government Code Section 65864:** Pursuant to **California Government Code** Section 65864 et seq. and citywide procedures for Development Agreements, adopted by the City of Camarillo City Council pursuant to **California Government Code** Section 65865, an applicant in any zone, for any proposed development, may apply for a Development Agreement.

**4.6 MITIGATION MONITORING AND REPORTING PROGRAM**

Refer to the Springville EIR Mitigation Monitoring and Reporting Program for implementation and reporting of the Mitigation Measures.